

Re-submittal Form

Case Name/ Number: PRC2026-00010 / Prairie Pass

Case Manager: Greg Barnes

Re-submitted Items:

- ☐ Development Plan/ Site Plan
- ☐ Plat
- ☐ Parking/ Landscape Plan
- ☐ Engineering Documents
- ☐ Subdivision Improvements Agreement (Microsoft Word version)
- ☒ Other: Response to Comments

*** All re-submittals must have this cover sheet and a cover letter addressing review comments.**

Please note the re-submittal review period is 21 days.

The cover letter must include the following information:

- Restate each comment that requires a response
- Provide a response below the comment with a description of the revisions
- Identify any additional changes made to the original document

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active: Engineering; Planner; Plan Coordination

Comment ID	Review	Date Received	Source / Agency	Permit / Document	Feedback / Comment	Feedback Response	Status
PLN02-RD2	2	7/10/2026	Planner Review / Greg Barnes	PRC2026-00010	Staff recommends that perimeter fencing be constructed of wood, masonry, or other durable architectural materials rather than galvanized chain-link to better preserve the rural character of the area.	Chain-link perimeter fencing is proposed to secure the project site. Prairie Pass will be critical infrastructure for the regional electric grid and chain-link fence topped with barbed wire is necessary to keep the site secure. Furthermore, chain-link fence construction is typical for ESS projects like Prairie Pass and would be consistent with the nearby Green Valley substation where the project will connect to the electric grid. Any potential fabric used as screening on the fence will be consistently inspected and maintained to prevent tears.	Closed
PLN03-RD2	2	7/10/2026	Planner Review / Greg Barnes	PRC2026-00010	Follow-Up - Prior to issuance of a building permit (or prior to commencement of operations, depending on County practice), the applicant shall provide financial assurance in a form and amount acceptable to Adams County. The amount shall be based on a current third-party decommissioning cost estimate and shall include dismantling, transportation, recycling or disposal, site restoration, and reclamation. The financial assurance shall be subject to periodic review and adjustment to reflect current costs over the life of the project. Let's discuss your plans to satisfy this item.	Acknowledged	Closed
PLN05-RD2	2	7/10/2026	Planner Review / Greg Barnes	PRC2026-00010	Please revise the site plan to identify designated parking spaces to accommodate employees and routine maintenance personnel. Parking areas and the drives providing access to them shall be paved with concrete or asphalt and constructed in accordance with applicable Adams County Development Standards and Regulations.	The site plan has been revised to designate parking spaces. Gravel construction is proposed for the parking areas and driveways leading to them rather than asphalt or concrete. Gravel construction for parking areas and driveways is typical for ESS projects sited in rural areas like Prairie Pass and would be consistent with the nearby Green Valley substation where the project will connect to the electric grid.	Closed
PLN08-RD2	2	7/10/2026	Planner Review / Greg Barnes	PRC2026-00010	Please clarify whether the proposed 8' x 40' O&M Connex is intended to be an occupiable structure. If so, please describe its intended use and identify any additional occupied structures proposed as part of the project, including the control shelter and conditioned trailers referenced in the Project Description. Please ensure the site plan and project narrative are consistent regarding the number, location, and use of all occupied structures. Building elevations should be included.	The O&M connex is akin to a shipping container. The space and any other spaces on the project site will not be used for human habitation, they will not contain space for sleeping, they will not have a bathroom, and they will not have a space for cooking. The connex structure will be intermittently used to gain access to tools and spare parts for the project. Therefore, the connex and other structures on site are not occupied structures and are more akin to 'unoccupied structure features' as set forth in the Adams County Development Standards & Regulations. The project does not contain occupied structures.	Closed

S.34, T.1S., R.64W., 6 P.M., ADAMS COUNTY, COLORADO

PRAIRIE PASS PRELIMINARY CIVIL PLAN SET

SHEET INDEX

G-001 - COVER SHEET

CIVIL

- C-001 - GENERAL NOTES
- C-100 - EXISTING CONDITIONS PLAN
- C-200 - EROSION AND SEDIMENT CONTROL PLAN
- C-201 - EROSION AND SEDIMENT CONTROL DETAILS
- C-202 - EROSION AND SEDIMENT CONTROL DETAILS
- C-300 - GRADING AND DRAINAGE PLAN
- C-401 - CIVIL SITE PLAN
- C-500 - CIVIL DETAILS

ELECTRICAL

- E-100 - SITE PHOTOMETRIC PLAN

VICINITY MAP



1"=1000'-0"

PROJECT INFORMATION

ZONING: AGRICULTURAL
ACREAGE OF BESS FACILITY: 13.65 ACRES
ACREAGE OF DISTURBANCE: 23.82 ACRES

APPLICANT INFORMATION

APPLICANT: PRAIRIE PASS, LLC
CONTACT: GAGE FULLER, GERTERPOWER.D

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NOT FOR
CONSTRUCTION

DUDEK

Jupiter
POWER

PRAIRIE PASS BESS
DRAINAGE STUDY

REV.	DATE	DESCRIPTION
1	07/15/2026	RESUBMIT FOR PERMIT
0	06/01/2026	ISSUE FOR PERMIT

PROJ. NO. 253044
DRAWN: LFE
CHECKED: BLW
DATE: 07/15/2026

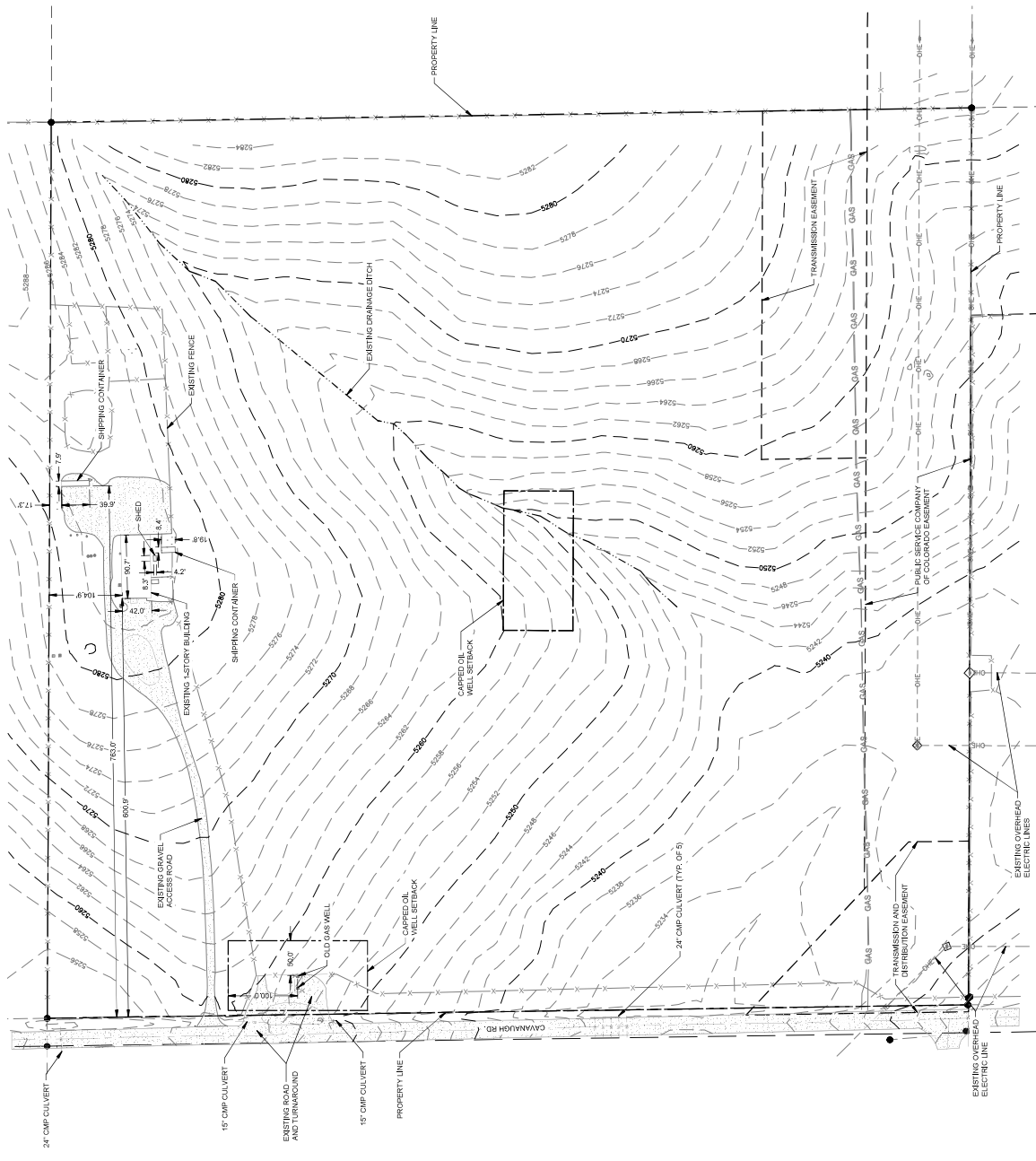
COFFMAN ENGINEERS INC.
SHEET TITLE:

COVER SHEET

SHEET NO.

G-001

S.34, T.1S., R.64W., 6 P.M., ADAMS COUNTY, COLORADO



SCALE
1 INCH = 80 FEET

LEGEND

	EXISTING GRAVEL
	PROPERTY LINE
	EXISTING FENCE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING STORM DRAIN
	EXISTING DRAINAGE DITCH
	EXISTING EASEMENT
	OIL WELL SETBACK
	EXISTING GAS LINE

NOTES

- EXISTING CONDITIONS ARE BASED ON T.O.P.O.
- SURVEY PROVIDED BY OTHERS ON 11/14/2023.

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SHEET TITLE

EXISTING
CONDITIONS
PLAN

SHEET NO.

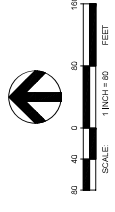
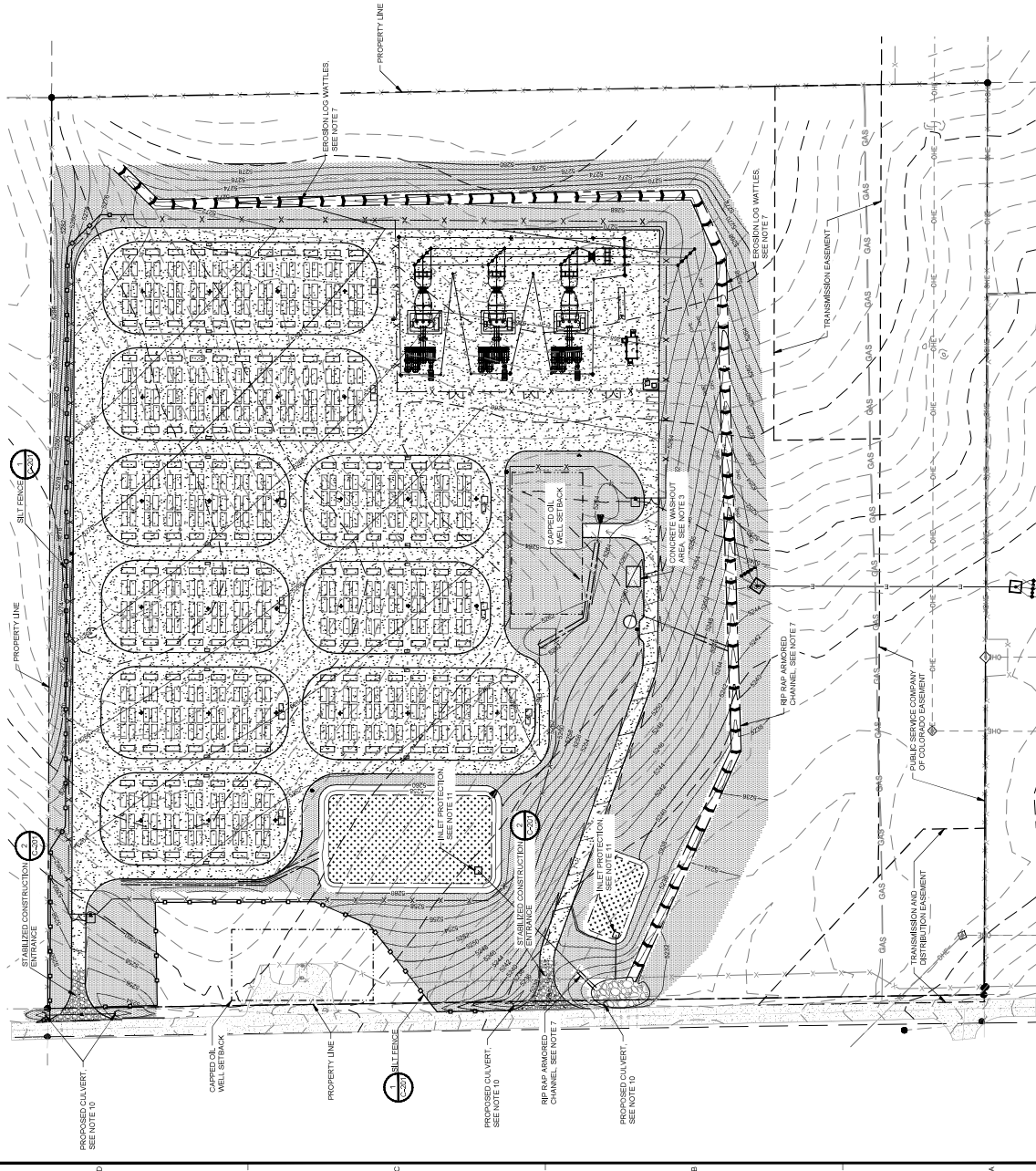
C-100



Know what's below.
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1. EXISTING CONDITIONS PLAN
C-100 SCALE 1"=80'

S.34, T.1S., R.54W., 6 P.M., ADAMS COUNTY, COLORADO



LEGEND	
[Pattern]	EXISTING GRAVEL
[Pattern]	PROPOSED GRAVEL
[Pattern]	DETENTION POND
[Pattern]	SLOPE STABILIZATION
[Pattern]	PROPERTY LINE
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	EXISTING OVERHEAD ELECTRIC LINE
[Symbol]	PROPOSED OVERHEAD ELECTRIC LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	PROPOSED GAS LINE
[Symbol]	EASEMENT
[Symbol]	DITCH FLOW LINE
[Symbol]	SILT FENCE
[Symbol]	RIP RAP ARMORED CHANNEL
[Symbol]	OIL WELL SETBACK

NOTES

1. REFER TO SHEET C-201 FOR GENERAL NOTES.
2. REFER TO SHEET C-201 FOR EROSION AND SEDIMENT CONTROL DETAILS.
3. INSTALL DEDICATED CONCRETE WASHOUT AREA AT MAIN ENTRANCE TO BESS YARD. SEE DETAIL 3, SHEET C-201 FOR MORE INFORMATION.
4. ELECTRICAL LAYOUT RELATED TO BATTERY ENCLOSURES AND ALL RELATED EQUIPMENT, ROADWAY WIDTHS AND ACCESS ROUTES, AND SITE LAYOUT DESIGNED BY OTHERS.
5. PRE-PROTECTION DESIGN AND CODE COMPLIANCE BY OTHERS.
6. SUBSTATION AND HYDRO DESIGN BY OTHERS.
7. INSTALL TEMPORARY EROSION LOGS PER DETAIL 5, SHEET C-202 IN OFF-SITE CONFORMANCE CHANNEL DURING CONSTRUCTION ACTIVITIES. ONCE CONSTRUCTION HAS BEEN COMPLETED, EROSION LOGS SHALL BE REMOVED AND REPLACED WITH PERMANENT EROSION LOGS AS SHOWN ON SHEET C-203.
8. STABILIZE ALL REGRADED SLOPES WITH EROSION CONTROL BLANKETS PER THE MILE HIGH FLOOD DISTRICT "EROSION CONTROL BLANKET CONSTRUCTION GUIDANCE CHECKLIST."
9. SITE DISTURBANCE ANTICIPATED TO EXCEED 1-ACRE. FINAL DESIGN TO INCORPORATE A STORMWATER MANAGEMENT PLAN (SWMP) FOR MANAGEMENT OF CONSTRUCTION STORMWATER DISCHARGE PERMIT.
10. PROTECT CULVERT INLET AND OUTLET PER DETAIL 3, SHEET C-201.
11. SLOPE OFFICIAL CATCH BASIN STRUCTURE LINE TO BE PROTECTED BY EROSION LOGS AS SHOWN ON DETAIL 3, SHEET C-201, AS WELL AS INLET PROTECTION DEVICE INLET INSERT PER DETAIL 4, SHEET C-201.

1 EROSION AND SEDIMENT CONTROL PLAN
C-200 SCALE 1"=50'



SHEET NO.
C-200

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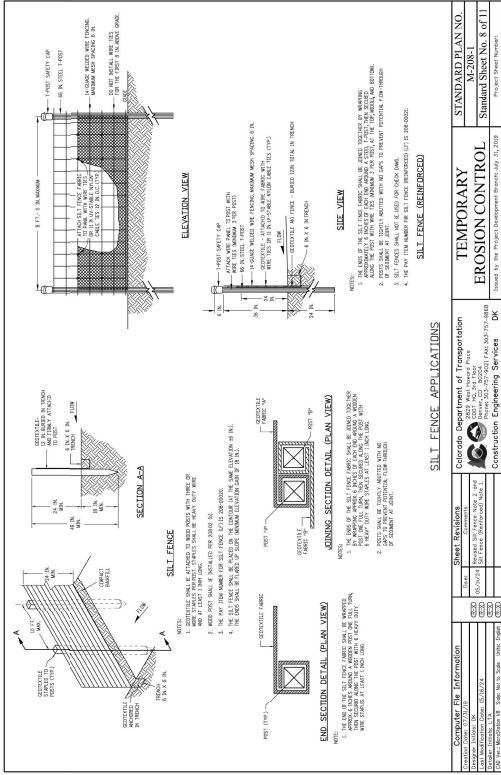
PRAIRIE PASS BESS
DRAINAGE STUDY

REV.	DATE	DESCRIPTION
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0	06/16/2025	ISSUE FOR PERMIT

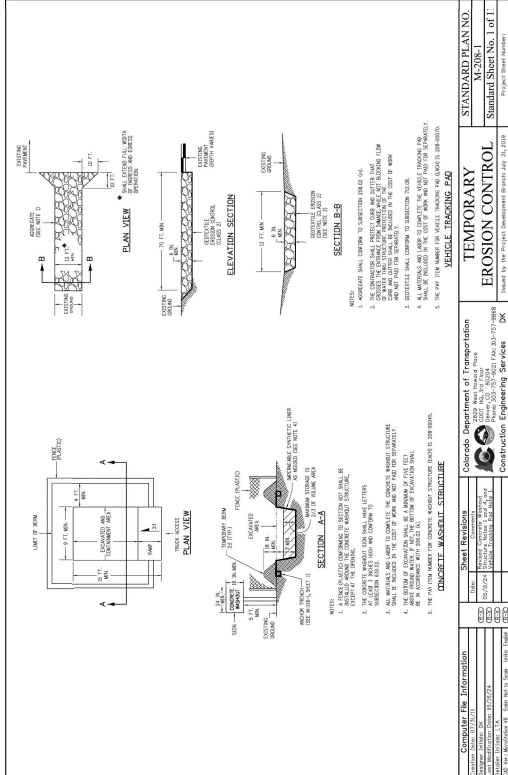
PROJ. NO.	253044
DRAWN	LFE
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DATE	07/15/2025

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SHEET TITLE

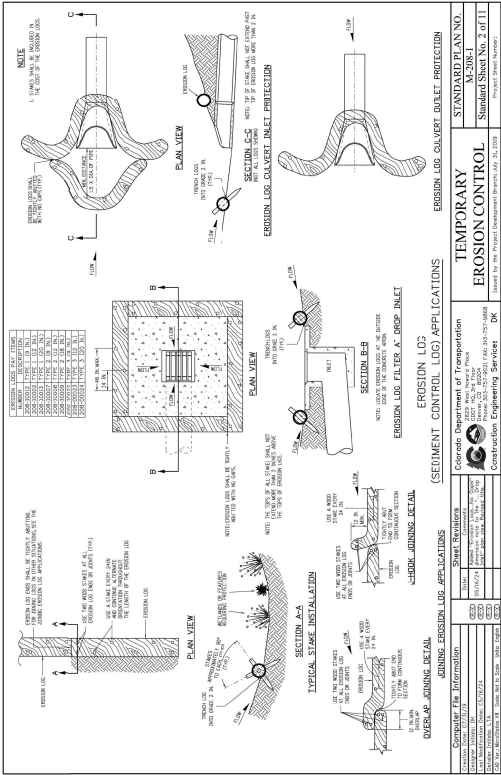
EROSION AND
SEDIMENT
CONTROL PLAN



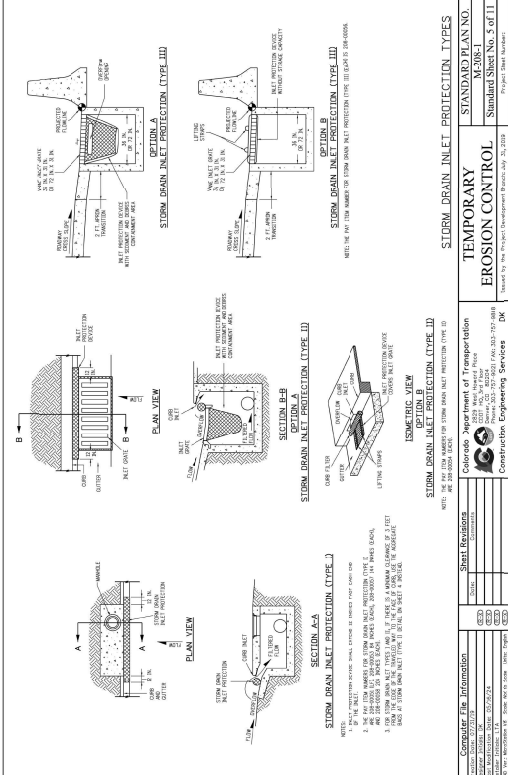
1 SILT FENCE
C-201 SCALE NTS



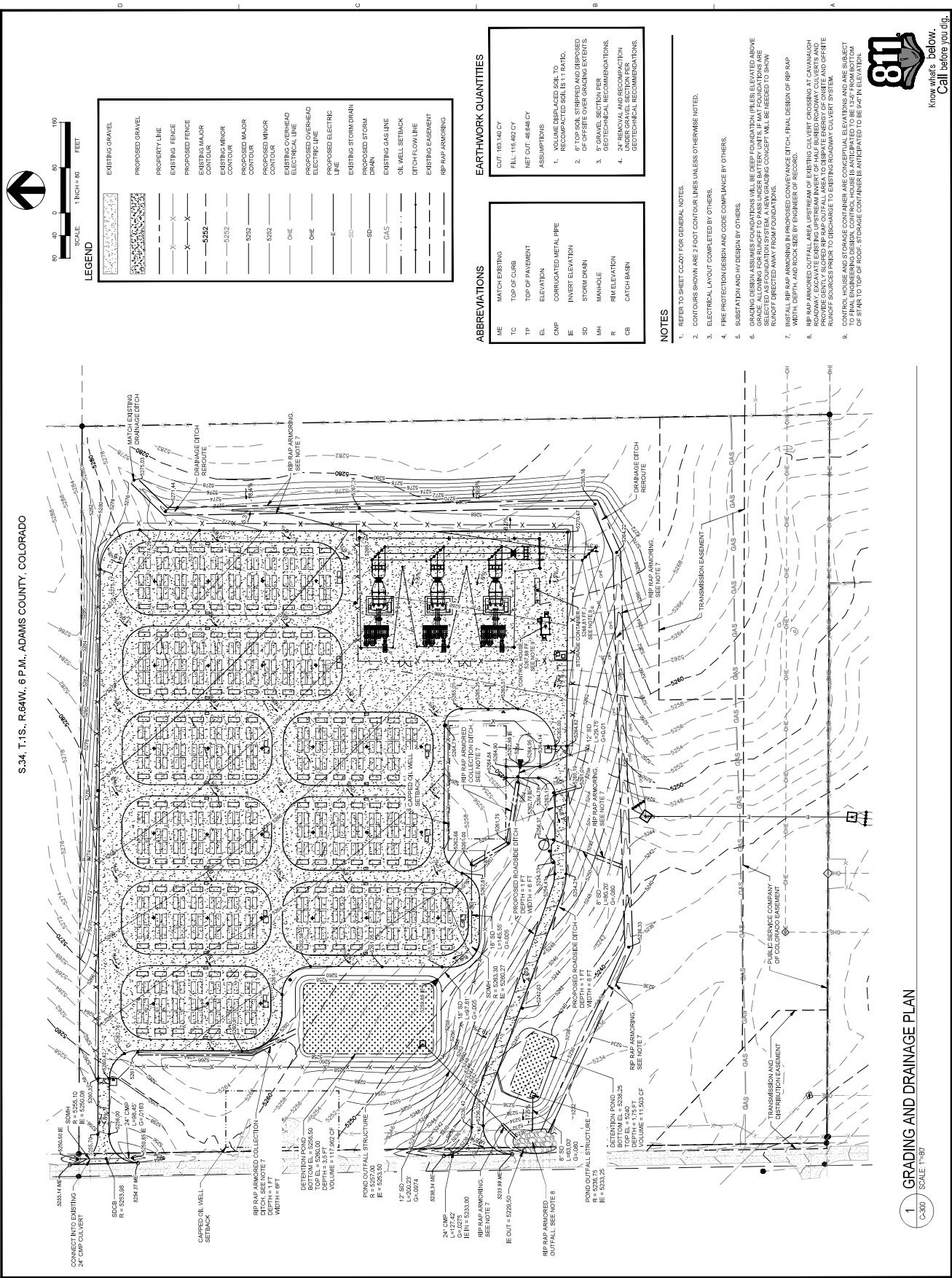
2 STABILIZED CONSTRUCTION ENTRANCE
C-201 SCALE NTS



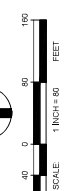
3 EROSION LOG INLET PROTECTION
C-201 SCALE NTS



4 INLET INSERT
C-201 SCALE NTS



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LEGEND

EXISTING GRAVEL	PROPOSED GRAVEL
PROPERTY LINE	EXISTING FENCE
EXISTING FENCE	PROPOSED FENCE
EXISTING MAJOR CONTOUR	PROPOSED MAJOR CONTOUR
EXISTING MINOR CONTOUR	PROPOSED MINOR CONTOUR
EXISTING OVERHEAD ELECTRICAL LINE	PROPOSED OVERHEAD ELECTRICAL LINE
EXISTING OVERHEAD ELECTRIC LINE	PROPOSED OVERHEAD ELECTRIC LINE
EXISTING STORM DRAIN	PROPOSED STORM DRAIN
EXISTING GAS LINE	PROPOSED GAS LINE
OIL WELL SETBACK	DITCH FLOW LINE
EXISTING EASEMENT	RP RAP ANCHORING

ABBREVIATIONS

ME	EXISTING
TC	TOP OF CURB
TP	TOP OF PAVEMENT
EL	ELEVATION
CMP	CORRUGATED METAL PIPE
IE	INVERT ELEVATION
SD	STORM DRAIN
MH	MANHOLE
R	RIM ELEVATION
CS	CATCH BASIN

EARTHWORK QUANTITIES

CUT: 163.40 CY
FILL: 116.62 CY
NET CUT: 46.78 CY
ASSUMPTIONS:
1. VOLUME DERIVED FROM RECOMPACTED SOILS 1:1 RATIO.
2. 6" TOP SOIL STRIPPED AND DISPOSED OF OFFSITE OVER GRADING EXTENTS.
3. 9" GRAVEL SECTION PER GEOTECHNICAL RECOMMENDATIONS.
4. 24" REMOVAL AND RECOMPACTION OF EXISTING GRAVEL PER GEOTECHNICAL RECOMMENDATIONS.

NOTES

1. REFER TO SHEET C-300 FOR GENERAL NOTES.
2. CONTOURS SHOWN ARE 2 FOOT CONTOUR LINES UNLESS OTHERWISE NOTED.
3. ELECTRICAL LAYOUT COMPLETED BY OTHERS.
4. FIRE PROTECTION DESIGN AND CODE COMPLIANCE BY OTHERS.
5. SUBSTATION AND HV DESIGN BY OTHERS.
6. GRADING DESIGN ASSUMES FOUNDATIONS WILL BE DEEP FOUNDATION (PILES) ELEVATED ABOVE GRADE ALLOWING FOR RUNOFF TO PASS UNDER BATTERY UNITS. IF PILE FOUNDATIONS ARE USED, GRADING DESIGN MUST BE MODIFIED TO ACCOMMODATE RUNOFF. GRADING DESIGN RUNOFF DIRECTION MUST BE MODIFIED TO ACCOMMODATE RUNOFF DIRECTION.
7. INSTALL RP RAP ANCHORING IN PROPOSED CONVEYANCE DITCH - FINAL DESIGN OF RP RAP WIDTH, DEPTH, AND ROCK SIZE BY ENGINEER OF RECORD.
8. RP RAP ANCHORED OUTFALL AREA UPSTREAM OF EXISTING CULVERT CROSSING AT CAVANAUGH STREET. EXISTING CULVERT CROSSING AT CAVANAUGH STREET IS TO BE REMOVED AND REPLACED WITH A NEW CULVERT CROSSING. GRADING DESIGN PROVIDES GENTLY SLOPED RP RAP OUTFALL AREA TO DISPA TE ENERGY OF CHUTE AND OFF SITE RUNOFF SOURCES PRIOR TO DISCHARGE TO EXISTING ROADWAY CULVERT SYSTEM.
9. CONTROL HOUSE AND STORAGE CONTAINER ARE CONCEPTUAL ELEVATIONS AND ARE SUBJECT TO FURTHER DESIGN. CONTROL HOUSE IS ANTICIPATED TO BE 10' TALL. STORAGE CONTAINER IS ANTICIPATED TO BE 8' TALL.

1 GRADING AND DRAINAGE PLAN
C-300 SCALE 1"=50'



SHEET NO.

C-300

GRADING AND DRAINAGE PLAN

PROJ. NO.	253044
DRAWN	LFE
CHECKED	BLW
DATE	07/15/2025

REV.	DATE	DESCRIPTION
1	07/15/2025	REVISED FOR PERMIT
0	06/16/2025	ISSUE FOR PERMIT

REV.	DATE	DESCRIPTION
1	07/15/2025	REVISED FOR PERMIT
0	06/16/2025	ISSUE FOR PERMIT



PRAIRIE PASS BESS DRAINAGE STUDY



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[illegible]

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PRAIRIE PASS BESS
DRAINAGE STUDY[illegible]OVERALL SITE
PLAN

SHEET NO:

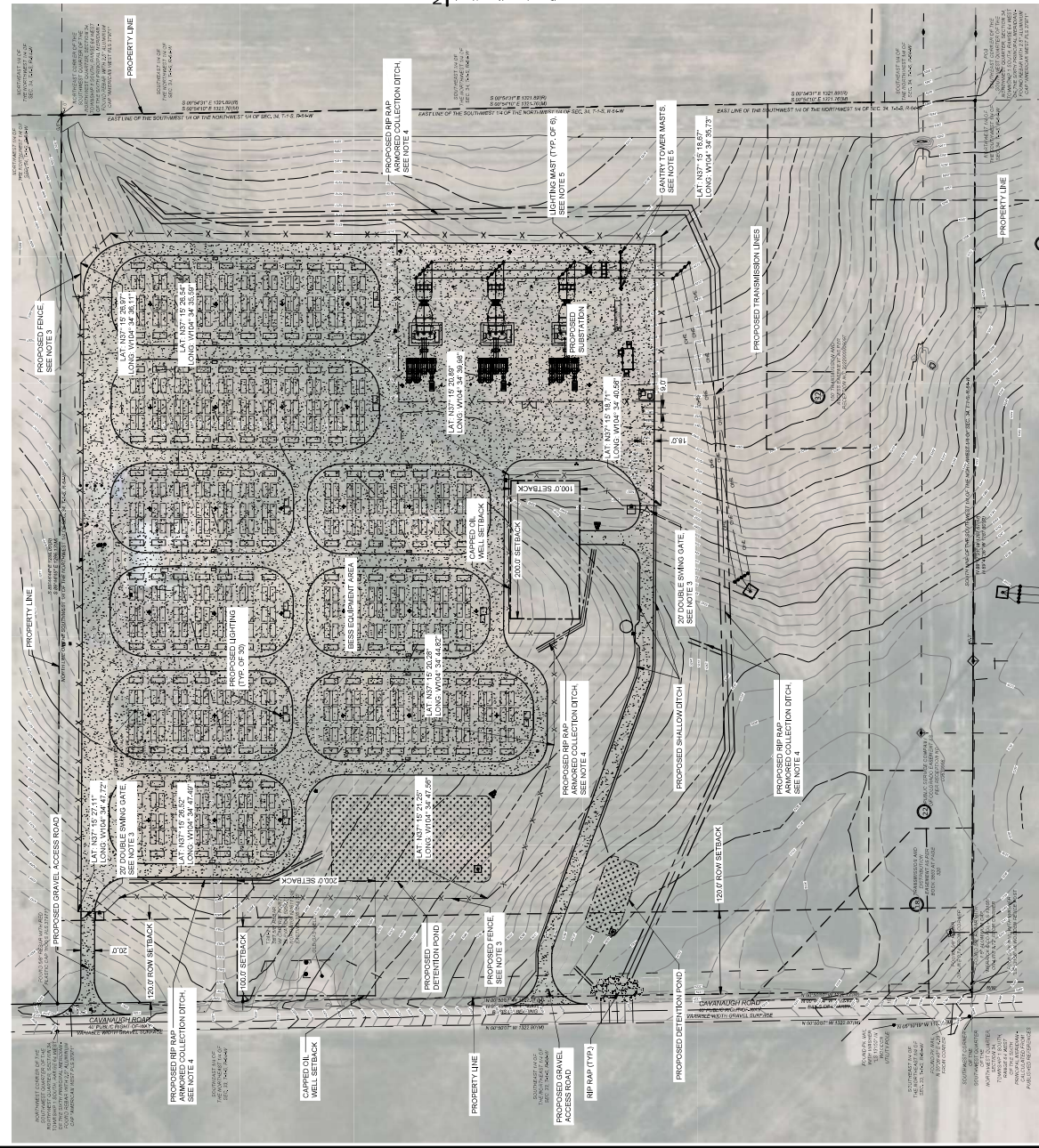
C-400



Know what's below.
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1 OVERALL SITE PLAN

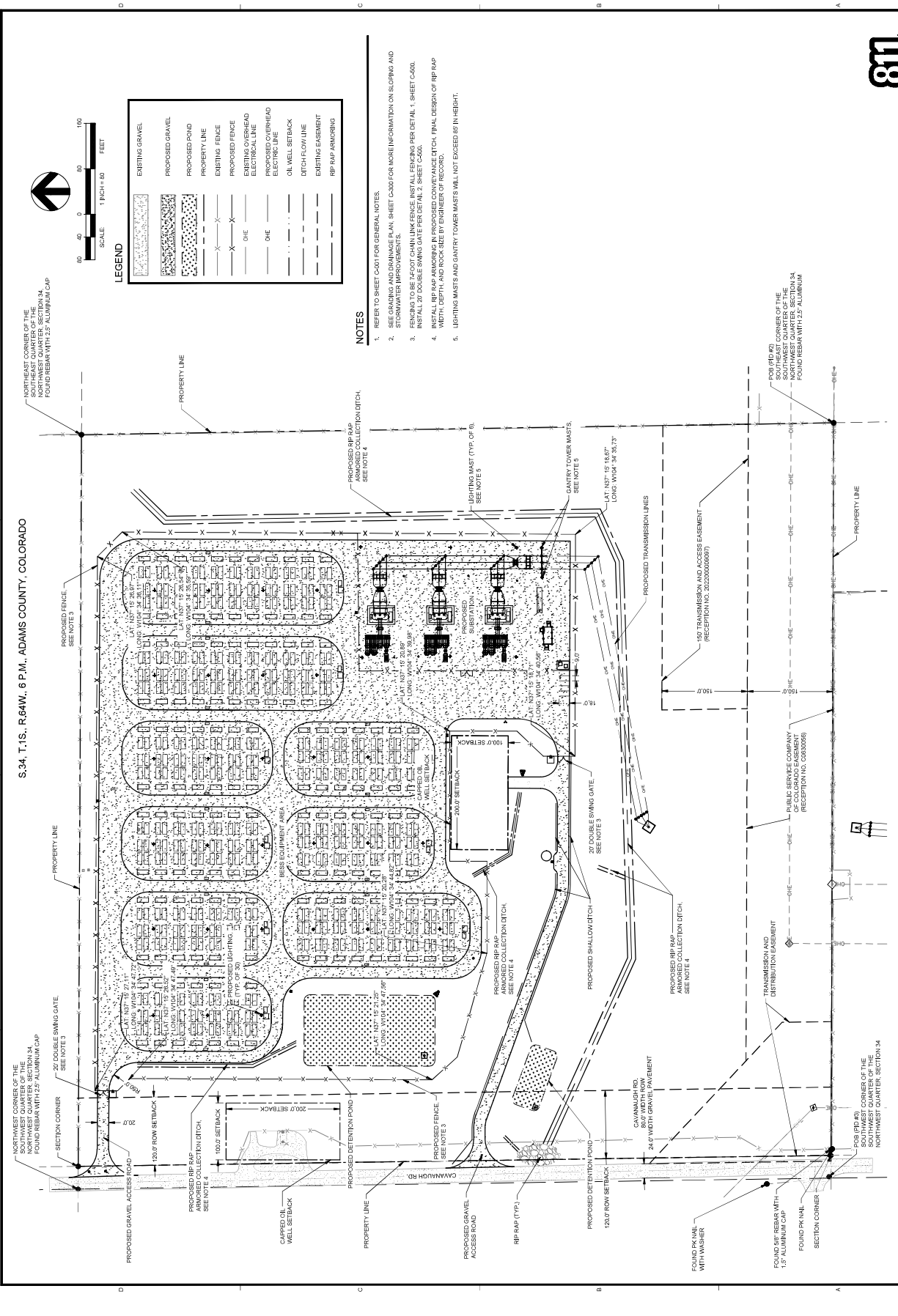
C-400 SCALE: 1"=80'



NOTES

1. REFER TO SHEET C-001 FOR GENERAL NOTES.
2. SEE GRADING AND DRAINAGE PLAN, SHEET C-009 FOR MORE INFORMATION ON SLOPING AND STORMWATER IMPROVEMENTS.
3. FENCING TO BE 74"OFT CHAIN LINK FENCE INSTALL FENCING PER DETAIL 1, SHEET C-000. INSTALL 20' ODOBT SWING GATE PER DETAIL 2, SHEET C-000.
4. INSTALL RIP RAP ARMORING IN PROPOSED CONDUITANCE DITCH. FINAL DESIGN OF RIP RAP WITH DEPTH, AND ROCK SIZE BY ENGINEER OF RECORD.
5. LIGHTNING MASTS AND GANTRY TOWER MASTS WILL NOT EXCEED 8' IN HEIGHT.

S.34, T.1S., R.64W., 6 P.M., ADAMS COUNTY, COLORADO



LEGEND

[Symbol]	EXISTING GRAVEL
[Symbol]	PROPOSED GRAVEL
[Symbol]	PROPOSED POND
[Symbol]	PROPERTY LINE
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING OVERHEAD ELECTRICAL LINE
[Symbol]	PROPOSED OVERHEAD ELECTRICAL LINE
[Symbol]	OIL WELL SETBACK
[Symbol]	DITCH/FLOW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	RIP RAP ARMORING

- NOTES
1. REFER TO SHEET C-401 FOR GENERAL NOTES.
 2. SEE GRADING AND DRAINAGE PLAN, SHEET C-402 FOR MORE INFORMATION ON SLOPING AND STORMWATER IMPROVEMENTS.
 3. FENCING TO BE 4-FOOT CHAIN LINK FENCE. INSTALL FENCING PER DETAIL 1, SHEET C-402.
 4. INSTALL RIP RAP ARMORING IN PROPOSED DITCHES AND EASEMENTS. FINAL DESIGN OF RIP RAP WIDTH, DEPTH, AND ROCK SIZE BY ENGINEER OF RECORD.
 5. LIGHTING MASTS AND GENTRY TOWER MASTS WILL NOT EXCEED 65' IN HEIGHT.



1 CIVIL SITE PLAN
C-401
SCALE 1"=50'

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PRAIRIE PASS BESS
DRAINAGE STUDY

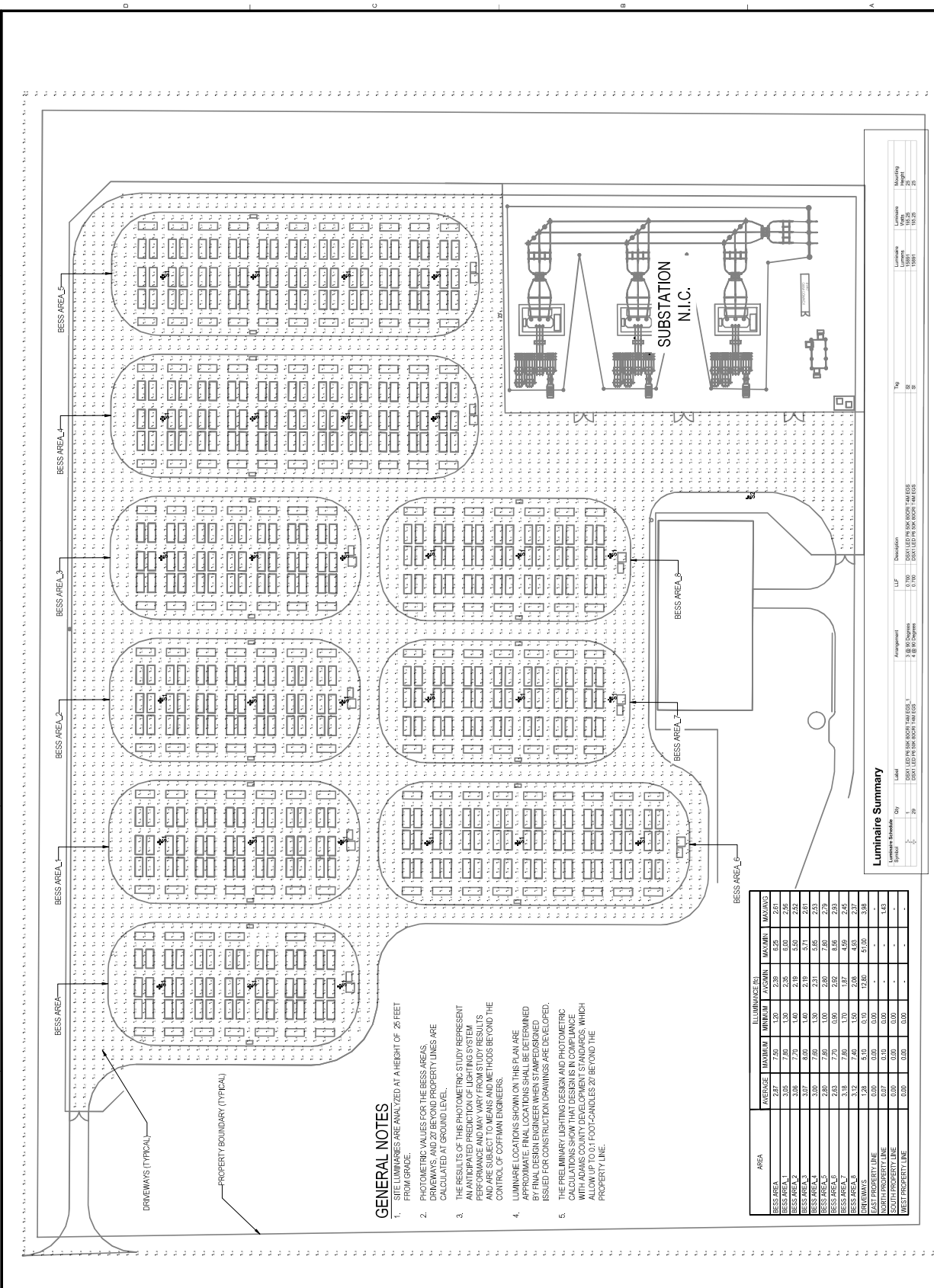
REV.	DATE	DESCRIPTION
1	07/15/2028	RE-SSUE FOR PERMIT
0	06/16/2028	ISSUE FOR PERMIT

PROJ. NO. 253044
DRAWN LFE
CHECKED BLW
DATE 07/15/2028

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SHEET TITLE

CIVIL SITE PLAN

SHEET NO.
C-401



AREA	LUMINAIRE (ft)			
	AVERAGE	MAXIMUM	MINIMUM	MAXIMUM
BESS AREA	2.87	7.50	1.20	23.36
BESS AREA_1	3.05	7.80	1.30	23.35
BESS AREA_2	3.05	7.70	1.40	23.35
BESS AREA_3	3.05	7.80	1.40	23.35
BESS AREA_4	3.05	7.80	1.40	23.35
BESS AREA_5	3.05	7.80	1.40	23.35
BESS AREA_6	3.05	7.80	1.40	23.35
NORTH PROPERTY LINE	0.00	0.00	0.00	0.00
SOUTH PROPERTY LINE	0.00	0.00	0.00	0.00
WEST PROPERTY LINE	0.00	0.00	0.00	0.00

GENERAL NOTES

1. SITE LUMINAIRES ARE ANALYZED AT A HEIGHT OF 25 FEET FROM GRADE.
2. PHOTOMETRIC VALUES FOR THE BESS AREAS, DRIVEWAYS, AND 20' BEYOND PROPERTY LINES ARE CALCULATED AT GROUND LEVEL.
3. THE RESULTS OF THIS PHOTOMETRIC STUDY REPRESENT AN ANTICIPATED PREDICTION OF LIGHTING SYSTEM PERFORMANCE AND MAY VARY FROM STUDY RESULTS AND ARE SUBJECT TO MEANS AND METHODS BEYOND THE CONTROL OF COFFMAN ENGINEERS.
4. LUMINAIRE LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE. FINAL LOCATIONS SHALL BE DETERMINED BY THE CLIENT AND SHALL BE SHOWN ON THE FINAL ISSUED FOR CONSTRUCTION DRAWINGS ARE DEVELOPED.
5. THE PRELIMINARY LIGHTING DESIGN AND PHOTOMETRIC ANALYSIS WAS PERFORMED IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS, WHICH ALLOW UP TO 0.1 FOOT-CANDELS 20' BEYOND THE PROPERTY LINE.

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SHEET TITLE

Category	Quantity	Unit
Luminaire	1000	ft
Substation	1	ft

Luminaire Summary

Client: LED ON ROAD BODY 1400 LUX
Design: LED ON ROAD BODY 1400 LUX

1 SITE PHOTOMETRIC PLAN
SCALE: 1"=50'
E-100

PRELIMINARY
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PRAIRIE PASS BESS
DRAINAGE STUDY

SITE
PHOTOMETRIC
PLAN

E-100

SHEET NO.