



Community & Economic Development Department  
4430 S. Adams County Pkwy.  
1st Floor, Suite W2000B  
Brighton, CO 80601  
PHONE 720.523.6800  
EMAIL [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org)  
[adcogov.org](http://adcogov.org)

## Request for Comments

Case Name: Copeland Precast Temporary Office Special Use Permit

Case Number: VSP2025-00050

November 21, 2025

The Adams County Board of Adjustment is requesting comments on the following application: **Special Use Permit for a temporary, modular building on the property which will be used as a temporary space for office employees and supplies. The modular building will be in place for less than one year while a permanent office space is secured.** This request is located at 35582 E 56TH AVE. The Assessor's Parcel Number is 0181700000018.

Owner Information: COPELAND HOLDING LLC  
6397 W PRENTICE AVE

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by **12/5/2025** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [DDeBoskey@adamscountyco.gov](mailto:DDeBoskey@adamscountyco.gov).

Once comments have been received and the staff report written, the staff report may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.https://adamscountyco.gov/our-county/community-economic-development/planning-development/current-land-use-cases/](http://www.https://adamscountyco.gov/our-county/community-economic-development/planning-development/current-land-use-cases/).

*Si usted tiene preguntas, por favor escribanos un correo electrónico a [cedespanol@adcogov.org](mailto:cedespanol@adcogov.org) para asistencia en español. Por favor incluya su dirección o número de caso para poder ayudarle mejor.*

Thank you for your review of this case.

DAVID DEBOSKEY  
Planner II

BOARD OF COUNTY COMMISSIONERS

Julie Duran Mullica  
DISTRICT 1

Kathy Henson  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



# SPECIAL USE PERMIT

Special uses are those uses which are non-permanent (less than five (5) years) and often support other land uses authorized or permitted in a zone district or public utilities or services, but which, because of their potential impacts require more discretionary review than those uses which are authorized. Special use permits can function to temporarily allow uses that might not otherwise be within the use chart but could be considered in the future in addition to meeting applicable performance standards, special uses may require the imposition of conditions to ensure the number of special uses and their location, design, and configuration are appropriate at a particular location during the duration of operation or use to protect the health, safety and welfare of the County and inhabitants of the area.

Please include this page with your submittal. Submittal instructions and more information about checklist items can be found on pages 2-3.

Development Application Form

Written Explanation

Site Plan Showing

Traffic Impact Letter

Proof of Ownership

Proof of Water, Sewer, and Utilities

Legal Description

Statement of Taxes Paid

Fees Due When Application is	Amount
Special Use Permit	Residential Uses: \$800 Non-Residential Uses: \$1,000

## Special Use Permit-Guide to Development Application Submittal

This application shall be emailed to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). If the submittal is too large to email as an attachment, the application may be sent as an unlocked Microsoft OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF, although you may provide multiple PDFs to ensure no file exceeds 100 MB. Once a complete application has been received, fees will be invoiced and payable online at [www.permits.adcogov.org](http://www.permits.adcogov.org).

### Written Explanation:

- A clear and concise, yet thorough, description of the proposal. Please include, timeframe, purpose of project, and improvements that will be made to the site.

### Site Plan:

- A detailed drawing of existing and proposed use. Including:
  - Streets, roads, intersections, access points.
  - Driveways, access points, and parking areas.
  - Signs, location of proposed use on site, setbacks.
  - Existing and proposed structures (if any) wells, and septic systems. Include building elevations.
  - Easements, tracts, utility lines, and 'no build' or hazardous areas.
  - Scale, north arrow, and date of preparation.
- An Improvement Location Certificate or Survey may be required during the official review

### Traffic Impact Letter:

- Shall be determined based upon the methodologies of the most current Institute of Transportation Engineers (ITE) Trip Generation Manual for the weekday AM peak hour and weekday PM peak hour.

### Proof of Ownership

- A deed may be found in the Office of the Clerk and Recorder.
- A title commitment is prepared by a professional title company.

### Proof of Water/Sewer/Utilities

#### Water

- A written statement from the appropriate water district indicating that they will provide service to the property OR a copy of a current bill from the service provider.
- Well permit(s) information can be obtained from the Colorado State Division of Water Resources at (303) 866-3587.

#### Sewer

- A written statement from the appropriate sanitation district indicating that they will provide service to the property OR a copy of a current bill from the service provider.
- A written statement from Tri-County Health indicating the viability of obtaining Onsite Wastewater Treatment Systems.

#### Utilities (Gas, Electric, etc.)

- A written statement from the appropriate utility provider indicating that they will provide service to the property.
- Copy of a current bill from the service provider.

### Legal Description

- Geographical description used to locate and identify a property.
- Visit <http://gisapp.adcogov.org/quicksearch/> to find the legal description for your property.

### Statement of Taxes Paid

- All taxes on the subject property must be paid in full. Please contact the Adams County Treasurer's Office or visit [ADCOTAX.COM](http://ADCOTAX.COM)



**DEVELOPMENT APPLICATION FORM**

**PROJECT NAME:**

**APPLICANT**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

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**OWNER**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

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**TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)**

Name:  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

---

**DESCRIPTION OF SITE**

Address: 35582 E 56th Ave

City, State, Zip: Watkins, CO 80137

Area (acres or square feet): 78 Acres (Temp office will only use 3,000 sf)

Tax Assessor Parcel Number: Parcel # APN 1817-00-0-00-018

Existing Zoning: I-1

Existing Land Use: AG

Proposed Land Use: Temp office for precast concrete plant

Have you attended a Conceptual Review? YES  NO 

If Yes, please list PRE#: PRE2018-00029

I hereby certify that I am making this application as owner of the above-described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Bart Copeland

Date: 10-17-25

Owner's Printed Name

Name: 

Owner's Signature

## Project Description



October 13, 2025

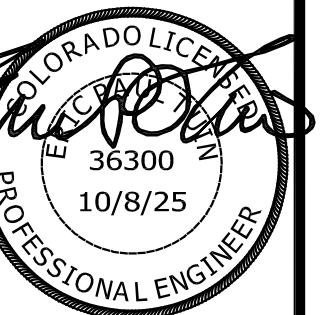
To Whom It May Concern:

The enclosed application is for setting a temporary, modular building on the property which will be used as a temporary space for our office employees and supplies. The modular building will be in place for less than 12 months while a permanent office space is secured.

Materials stored will include desks, phones, computers, and other office supplies. Activities performed within structure will include clerical and administrative work for Copeland Precast. Hours of operation will be from 7:00 AM to 4:00 PM. Square footage of the modular building is 2,632 SF with an occupancy of 26.

Thank you,

Bart Copeland  
President  
Copeland Enterprises, Inc.  
[bart@copelandprecast.com](mailto:bart@copelandprecast.com)  
Cell: 303-601-8369  
Ph: 303-936-4817



PREPARED FOR:  
Copeland Holdings, LLC  
904 S. Lipan Street  
Denver, Colorado 80223

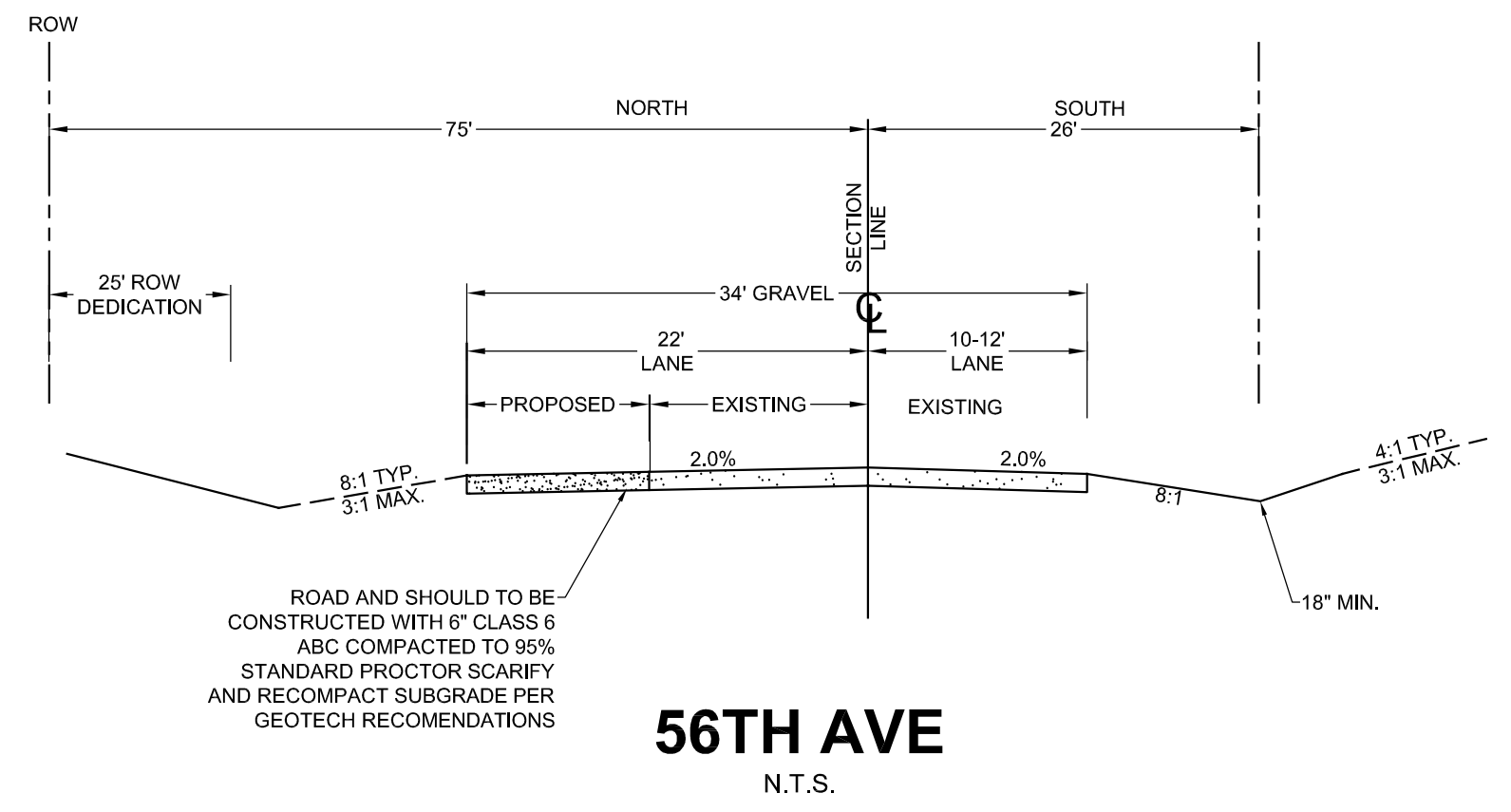
**GRADING PLAN**  
COPELAND PRECAST EAST  
ADAMS COUNTY, COLORADO

DATE: 1/26/21  
BY: JPT  
EPT  
EPT  
EPT  
EPT  
EPT

REVISIONS:  
1. Clarify Comments  
2. ADD PARKING  
3. REV PER RFI #40 - OFFICE SLAB GRADE  
4. REV PER RFI #40 - OFFICE SLAB GRADE  
5. MOVE BERM AROUND NEW CISTERN  
6. ADD ADDTL BERM AROUND NORTH CISTERN

PROJECT NUMBER: 18011  
ISSUED DATE: 8-19-20  
DESIGNED BY: EPT  
REVIEWED BY: TEW

**GRADING PLAN**

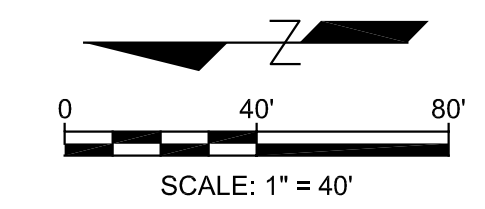


**56TH AVE**  
N.T.S.

**BENCHMARK**  
ELEVATIONS ARE BASED ON THE CITY OF AURORA VERTICAL CONTROL NETWORK BENCHMARK ID 3S6417NE003 (CORRECTED ID WAS 3S6408SW001) 3" DIAM. BRASS CAP (STAMPED, C.O.A., BM, AB-165, 1981) ATOP A 30" LONG STL. PIPE IN CONC. APPROX. 1' NORTH OF N. BDY FE. FOR FRONT RANGE AIRPORT, AND BEING APPROX. 1/2 MILE EAST OF IMBODEN RD.  
ELEVATION = 5403.12 U.S. FT. (CITY OF AURORA VERTICAL CONTROL DATUM, NAVD 88).

**BASIS OF BEARING**  
BASIS OF BEARING FOR THIS SURVEY IS THE SOUTH LINE SE 1/4 OF SECTION 8, ASSUMED TO BEAR N88°56'24"W BETWEEN THE MONUMENTS SHOWN AND DESCRIBED HEREON.

- NOTE:**
- THE FOLLOWING ITEMS HAVE BEEN COMPLETED ON THE SITE:
    - LEVELING SITE
    - DETENTION PONDS
    - DETENTION STRUCTURES
    - DETENTION GRADING
    - TRICKLE CHANNEL IN PONDS ONLY
    - STORM INLETS AND GRATES
    - ALL RCP AND FLARED ENDS
    - BERMS
    - WELL
    - SEPTIC IS 90% COMPLETE

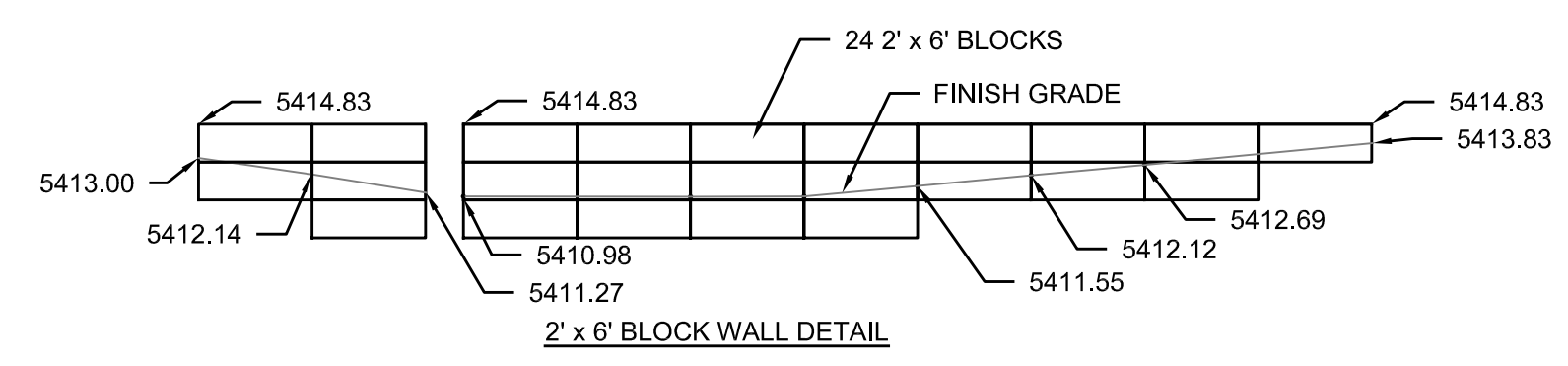
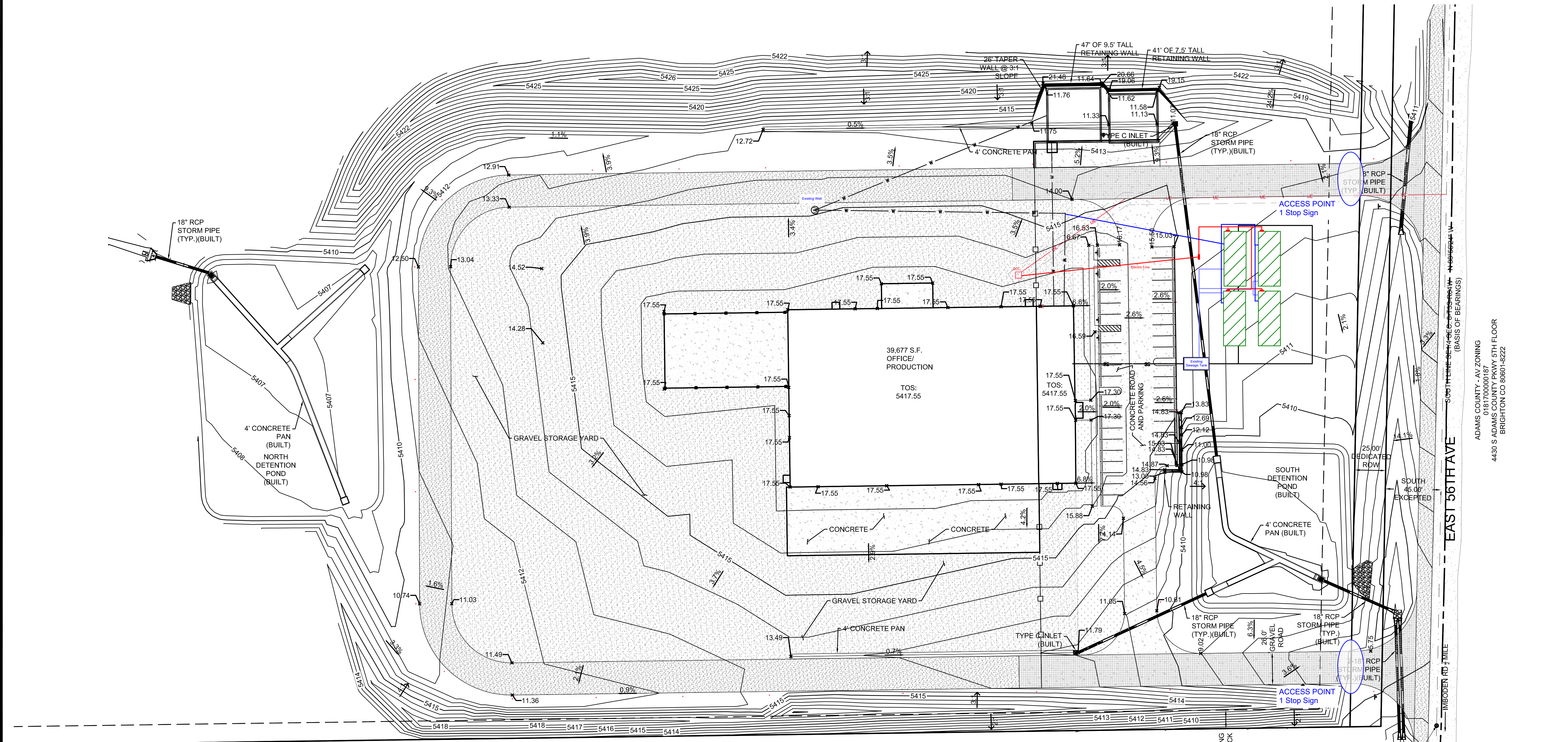


**LEGEND**

---	SECTION LINE
---	PROPERTY BOUNDARY
---	BUILDING SETBACK
---	PROPOSED CURB HEAD
---	PROPOSED STORM PIPE
---	PROPOSED STORM INLET
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED GRADE

**MATERIAL LEGEND**

[Pattern]	EXISTING GRAVEL
[Pattern]	PROPOSED GRAVEL PARKING & DRIVE
[Pattern]	PROPOSED GRAVEL STORAGE AREA
[Pattern]	PROPOSED BUILDING
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED LANDSCAPE ELEMENTS



**CAUTION: NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



(CITY OF AURORA ZONING NE PLAINS)  
0181700000316  
WESTERN TRANSPORT LLC UND 53.76% AND TREE TOP LP AND LP UND 21.24% AND COLORADO MAVERICK COMPANY LLC UND 20%  
625 E MAIN ST STE 1028-303  
ASPEN, CO 81611-1935

SW COR, SE1/4, SEC. 8-T3S-R64W  
FOUND 3.25\"/>

## SPECIAL WARRANTY DEED

State Doc Fee: \$90.00



18000310200  
\$33.00

**THIS DEED** is dated the 20th day of February, 2019, and is made between (whether one, or more than one),

Lester L. Lakey and  
 Floyd R. Ehmann Revocable Trust dated September 8, 2016 and  
 Karl F. Ehmann and/or Jeanette E. Ehmann, Trustees under Ehmann Revocable Trust, established June 17, 1996

the "Grantor" of the County of Denver and State of Colorado and

**Copeland Holdings, LLC**, a Colorado limited liability company

(whether one, or more than one), the "Grantee", whose legal address is **2 Robincrest Lane, Suite B-5, Littleton, CO 80123** of the County of Arapahoe and State of Colorado.

**WITNESS**, that the Grantor, for and in consideration of the sum of **Nine Hundred Thousand Dollars and No Cents ( \$900,000.00 )**, the receipt and sufficiency of which is hereby acknowledged, hereby grants, bargains, sells, conveys and confirms unto the Grantee and the Grantee's heirs and assigns forever, all the real property, together with any improvements thereon, located in the County of Adams and State of Colorado described as follows:

The West Half of the Southeast Quarter (W1/2 SE 1/4) of Section 8, Township 3 South, Range 64 West of the 6th P.M., County of Adams, State of Colorado,

EXCEPT the South 45.00 feet thereof deeded to Adams County in Resolution Accepting Deed recorded January 31, 1984 in Book 2835 at Page 807 and re-recorded February 8, 1984 in Book 2838 at Page 547.

also known by street address as: 78 Acres on East 56th Avenue, Watkins, CO 80137

**TOGETHER** with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversions, remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the Grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances, unto the Grantee, and the Grantee's heirs and assigns forever, The Grantor, for the Grantor and the Grantor's heirs and assigns, does covenant, grant, bargain, and agree that the Grantor shall and will **WARRANT THE TITLE AND DEFEND** the above described premises, in the quiet and peaceable possession of the Grantee and the heirs and assigns of the Grantee, against all and every person or persons claiming the whole or any part thereof, by, through, or under the Grantor except and subject to:

**See Exhibit "A" attached hereto and made a part hereof**

**IN WITNESS WHEREOF**, the Grantor has executed this deed on the date set forth above.

SEE ATTACHED SIGNATURE PAGE

SEE ATTACHED NOTARY ACKNOWLEDGEMENT

## SPECIAL WARRANTY DEED

State Doc Fee: \$90.00



18000310200  
\$33.00

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Karl F. Ehmann and/or Jeanette E. Ehmann, Trustees under Ehmann Revocable Trust, established June 17, 1996

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**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances, unto the Grantee, and the Grantee's heirs and assigns forever, The Grantor, for the Grantor and the Grantor's heirs and assigns, does covenant, grant, bargain, and agree that the Grantor shall and will **WARRANT THE TITLE AND DEFEND** the above described premises, in the quiet and peaceable possession of the Grantee and the heirs and assigns of the Grantee, against all and every person or persons claiming the whole or any part thereof, by, through, or under the Grantor except and subject to:

**See Exhibit "A" attached hereto and made a part hereof**

**IN WITNESS WHEREOF**, the Grantor has executed this deed on the date set forth above.

SEE ATTACHED SIGNATURE PAGE

SEE ATTACHED NOTARY ACKNOWLEDGEMENT

SIGNATURE AND NOTARY PAGE

Floyd R. Ehmann Revocable Trust dated September 8, 2016

By:

  
Floyd R. Ehmann, Trustee

STATE OF ALASKA

COUNTY OF Third Judicial District

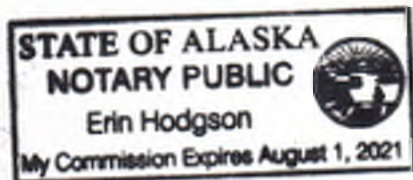
The foregoing instrument was acknowledged before me this 17<sup>th</sup> day of February, 2019 by Floyd R. Ehmann as Trustee of the Floyd R. Ehmann Revocable Trust dated September 8, 2016.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

Aug 1 2022

  
Notary Public



SIGNATURE AND NOTARY PAGE

Ehmann Revocable Trust, established June 17, 1996

By: Karl F. Ehmann  
Karl F. Ehmann, Trustee

By: Jeanette E. Ehmann  
Jeanette E. Ehmann, Trustee

STATE OF COLORADO

COUNTY OF Jefferson

The foregoing instrument was acknowledged before me this 19 day of February, 2019 by Karl F. Ehmann and Jeanette E. Ehmann as Trustees of the Ehmann Revocable Trust, established June 17, 1996.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:  
11/05/2021

Cynthia Garcia  
Notary Public

Colorado notary public

CYNTHIA GARCIA  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 20094036801  
MY COMMISSION EXPIRES NOVEMBER 5, 2021

SIGNATURE AND NOTARY PAGE

Lester L. Lakey  
Lester L. Lakey

STATE OF COLORADO

COUNTY OF Jefferson

The foregoing instrument was acknowledged before me this 19 day of February, 2019 by Lester L. Lakey.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

May 31, 2020

[Signature]  
Notary Public

CASSANDRA A. MONTGOMERY  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 19924005076  
MY COMMISSION EXPIRES MAY 30, 2020

**EXHIBIT "A"**  
**EXCEPTIONS TO TITLE**

1. Taxes for the year 2019, and subsequent years; special assessments or charges not certified to the County Treasurer.
2. Reservations contained in Quitclaim Deed between the Union Pacific Railroad Company and Union Pacific Land Resources Corporation recorded April 14, 1971 in Book 1684 at Page 281.  
NOTE: Release and Quitclaim Deed recorded November 23, 1998 in Book 5547 at Page 272.
3. Request for Notification of Surface Development recorded May 20, 2002 at Reception No. C0971787.
4. Mineral Deed recorded June 26, 2006 at Reception No. 20060626000646110.
5. Memorandum of Oil and Gas Lease recorded October 4, 2010 at Reception No. 2010000066720 and re-recorded February 7, 2012 at Reception No. 2012000008831.  
Assignment of Oil and Gas Lease recorded November 9, 2011 at Reception No. 2011000078878 and re-recorded January 31, 2012 at Reception No. 2012000007210.  
Notice of Lease Extension recorded July 18, 2013 at Reception No. 2013000062037.  
Affidavit of Production recorded May 1, 2015 at Reception No. 2015000031847.  
Memorandum of Joint Operating Agreement recorded May 4, 2016 at Reception No. 2016000034245.  
Assignment, Bill of Sale and Conveyance recorded October 28, 2016 at Reception No. 2016000092569.  
Assignment and Bill of Sale recorded November 28, 2016 at Reception No. 2016000102144.
6. Memorandum of Oil and Gas Lease recorded January 28, 2011 at Reception No. 2011000006675 and re-recorded February 9, 2012 at Reception No. 2012000009518.  
Memorandum of Joint Operating Agreement recorded May 4, 2016 at Reception No. 2016000034245.  
Assignment, Bill of Sale and Conveyance recorded October 28, 2016 at Reception No. 2016000092569.  
Assignment and Bill of Sale recorded November 28, 2016 at Reception No. 2016000102144.
7. Memorandum of Oil and Gas Lease recorded February 2, 2011 at Reception No. 2011000007829 and re-recorded February 9, 2012 at Reception No. 2012000009524.  
Affidavit of Production recorded May 1, 2015 at Reception No. 2015000031847.  
Memorandum of Joint Operating Agreement recorded May 4, 2016 at Reception No. 2016000034245.  
Assignment, Bill of Sale and Conveyance recorded October 28, 2016 at Reception No. 2016000092569.  
Assignment and Bill of Sale recorded November 28, 2016 at Reception No. 2016000102144.
8. Mineral Deed, Conveyance, Assignment and Bill of Sale recorded December 3, 2014 at Reception No. 2014000084716.
9. Memorandum of Oil and Gas Lease recorded April 24, 2017 at Reception No. 2017000035003.  
Memorandum of Oil and Gas Lease recorded April 24, 2017 at Reception No. 2017000035004.  
Assignment of Oil and Gas Lease recorded August 15, 2017 at Reception No. 2017000070973.  
Assignment and Bill of Sale recorded November 16, 2017 at Reception No. 2017000101574.
10. Easement, Right-of-Way, and Surface Use Agreement recorded June 27, 2017 at Reception No. 2017000054956.
11. **Farm Lease dated 3/1/09: Lessor - Kari Ehmann; Lessee - George Cronk. Seller represents that: (a) The Lease is in good standing and that Seller has performed all past and current obligations of Lessor thereunder and that Lessee has performed all past and current obligations of Lessee thereunder; (b) Seller will pay and hold Buyer harmless from the cost of all fertilizer,**

# REAL PROPERTY TRANSFER DECLARATION - (TD-1000)

## GENERAL INFORMATION

**Purpose:** The Real Property Transfer Declaration provides essential information to the county assessor to help ensure fair and uniform assessments for all property for property tax purposes. Refer to 39-14-102(4), Colorado Revised Statutes (C.R.S.).

**Requirements:** All conveyance documents (deeds) subject to the documentary fee submitted to the county clerk and recorder for recordation must be accompanied by a Real Property Transfer Declaration. This declaration must be completed and signed by the grantor (seller) or grantee (buyer). Refer to 39-14-102(1)(a), C.R.S.

**Penalty for Noncompliance:** Whenever a Real Property Transfer Declaration does not accompany the deed, the clerk and recorder notifies the county assessor who will send a notice to the buyer requesting that the declaration be returned within thirty days after the notice is mailed.

If the completed Real Property Transfer Declaration is not returned to the county assessor within the 30 days of notice, the assessor may impose a penalty of \$25.00 or .025% (.00025) of the sale price, whichever is greater. This penalty may be imposed for any subsequent year that the buyer fails to submit the declaration until the property is sold. Refer to 39-14-102(1)(b), C.R.S.

**Confidentiality:** The assessor is required to make the Real Property Transfer Declaration available for inspection to the buyer. However, it is only available to the seller if the seller filed the declaration. Information derived from the Real Property Transfer Declaration is available to any taxpayer or any agent of such taxpayer subject to confidentiality requirements as provided by law. Refer to 39-5-121.5, C.R.S. and 39-13-102(5)(c), C.R.S.

1. **Address and/or legal description of the real property sold:** Please do not use P.O. box numbers.  
78 Acres on East 56th Avenue Watkins, Colorado 80137
2. **Type of property purchased:**
- |  |                                     |   |                                      |
|--|-------------------------------------|---|--------------------------------------|
| <input type="checkbox"/> Single Family Residential | <input type="checkbox"/> Townhome   | <input type="checkbox"/> Condominium            | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Multi-Unit Res            | <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial             |                                      |
| <input type="checkbox"/> Agricultural              | <input type="checkbox"/> Mixed Use  | <input checked="" type="checkbox"/> Vacant Land |                                      |
3. **Date of closing:** February 20, 2019  
**Date of contract if different than closing:** April 25, 2018
4. **Total sale price:** Including all real and personal property. \$900,000.00
5. **Was any personal property included in the transaction?** Personal property would include, but is not limited to, carpeting, draperies, free standing appliances, equipment, inventory, furniture. If the personal property is not listed, the entire purchase price will be assumed to be for the real property as per 39-13-102, C.R.S.  
 Yes  No If yes, approximate value \$ \_\_\_\_\_ Describe \_\_\_\_\_
6. **Did the total sale price include a trade or exchange of additional real or personal property?** If yes, give the approximate value of the goods or services as of the date of closing.  
 Yes  No If yes, value \$ \_\_\_\_\_  
If yes, does this transaction involve a trade under IRS Code Section 1031?  Yes  No
7. **Was 100% interest in the real property purchased?** Mark "no" if only a partial interest is being purchased.  
 Yes  No If no, interested purchased \_\_\_\_\_%
8. **Is this a transaction among related parties?** Indicate whether the buyer or seller are related. Related parties include persons within the same family, business affiliates, or affiliated corporations.  
 Yes  No
9. **Check any of the following that apply to the condition of the improvements at the time of purchase.**  
 New  Excellent  Good  Average  Fair  Poor  Salvage  Vacant land.

If the property is financed, please complete the following.

10. **Total amount financed.** \_\_\_\_\_
11. **Type of financing:** (check all that apply)
- New  
 Assumed

12. **Terms:**

Variable; Starting interest rate \_\_\_\_\_ %  
 Fixed; Starting interest rate \_\_\_\_\_ %  
 Length of time \_\_\_\_\_ years  
 Balloon payment  Yes  No. If yes, amount \_\_\_\_\_ Due date \_\_\_\_\_

13. **Please explain any special terms, seller concessions, or financing and any other information that would help the assessor understand the terms of sale.**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**For properties other than residential** (Residential is defined as: single family detached, townhomes, apartments and condominiums) please complete questions 14-16 if applicable. Otherwise, skip to #17 to complete.

14. **Did the purchase price include a franchise or license fee?**  Yes  No

If yes, franchise or license fee value \$ \_\_\_\_\_

15. **Did the purchase price involve an installment land contract?**  Yes  No

If yes, date of contract \_\_\_\_\_

16. **If this was a vacant land sale, was an on-site inspection of the property conducted by the buyer prior to the closing?**  Yes  No

**Remarks:** Please include any additional information concerning the sale you may feel is important.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

17. Signed this 20th day of February, 2019

Buyer(s):

Copeland Holdings, LLC, a Colorado limited liability company

By: 

Bartholomew G. Copeland, Member

18. All future correspondence (tax bills, property valuations, etc.) regarding this property should be mailed to:

2 Robincrest Lane, Suite B-5 ( ) \_\_\_\_\_  
Address (mailing) Daytime Phone

Littleton, CO 80123

City, State and Zip Code

## AIRCRAFT ACTIVITY COVENANT with DISCLOSURE

The undersigned owners of lot(s) or parcel(s) of ground situated and being in the County of Adams, State of Colorado, and more particularly described as follows:

The West Half of the Southeast Quarter (W1/2 SE 1/4) of Section 8, Township 3 South, Range 64 West of the 6<sup>th</sup> P.M., County of Adams, State of Colorado  
35582 E 56<sup>th</sup> Avenue  
Watkins, CO 80137

Do for themselves, their heirs, successors, administrators and assigns, acknowledge disclosure and agree with the County of Adams, Colorado, the State of Colorado, United States of America or any other governmental agency or department of any of the aforesated political entities or political subdivisions, that the owners or occupants of the land therein described may experience noise intrusion, dust, or particulates resulting from the operation of aircraft to or from the following Airport(s):

Name of Airport(s):  
Denver International Airport

These covenants shall run with the land and shall be binding upon each and every property owners owning any of the lands herein described.



Brooke Copeland  
SIGNATURE OF OWNER(S)

ATTEST:

STATE OF COLORADO     )  
  )SS  
COUNTY OF ADAMS     )

The following signature(s) was (were) subscribed and sworn to before me this 8 day of April in the year 2024, A.D., by Bart and Brooke Copeland, said owners.

Notary Public: Lynnette Hart

Business Address: 904 S. Lipan St. DENVER, CO 80223

My Commission Expires: 12/17/2024



This covenant was filed for record in the office of the Adams County Clerk and Recorder, in the State of Colorado, at \_\_\_\_\_ A.M./P.M. on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D.

Adams County Clerk and Recorder

By: \_\_\_\_\_  
Deputy

# Statement of Taxes Paid

- [Tax Account Search](#)
- [Shopping Cart](#)
- [My Reports](#)
- [Help](#)
- [Treasurer Main Page](#)
- [Assessor Main Page](#)
- [Adams County Main Page](#)
- [Logout public](#)

The amount of taxes due on this page are based on last year's property value assessments.

*The actual value is the value before the adjustment and the assessed value is based off the new adjusted value.*


Per SB22-238 and SB23-001 the value may be reduced by \$55,000.00 for residential and \$30,000 for commercial. Click [here](#) for further information.

For current year values and for a full breakdown of the values visit the [Adams County Assessor's site](#).

## Summary

Account Id R0083297  
Parcel Number 0181700000018  
Owners COPELAND HOLDING LLC  
Address 6397 W PRENTICE AVE  
LITTLETON, CO 80123-5195  
Situs Address 35582 E 56TH AVE  
Legal SECT,TWN,RNG:8-3-64 DESC: W2 SE4 AND EXC S 45 FT AND EXC RD (2021000036623) 77/8799A

## Inquiry

As Of  

Payment Type  First  
 Full

Total Due \$0.00

## Value

Area Id	Mill Levy
395 - 395	70.1720000
	<b>Actual Assessed</b>
AG DRY FARMING LAND - 4127	9,513 2,510
<b>Taxes</b>	\$176.14



1889 York Street  
Denver, CO 80206  
(303) 333-1105  
FAX (303) 333-1107  
E-mail: [lsc@lscdenver.com](mailto:lsc@lscdenver.com)

September 11, 2025

Mr. Bart Copeland  
Copeland Precast  
904 S. Lipan Street  
Denver, CO 80223

Re: Copeland Precast  
Compliance Letter  
Adams County, CO  
LSC #180932

Dear Mr. Copeland:

In response to your request, LSC Transportation Consultants, Inc. has prepared this trip generation compliance letter for the proposed Copeland Precast development in Adams County, Colorado.

## **INTRODUCTION**

The purpose of this letter is to estimate the trip generation potential for the currently proposed development for comparison to the previously proposed land use in the September 7, 2018 *Copeland Precast Traffic Impact Analysis* by LSC (2018 TIA) and the June 17, 2024 *Copeland Precast Trip Generation Compliance Letter* (2024 Letter) by LSC. Table 2 from the 2018 TIA and Table 1 from the 2024 Letter are attached for reference.

## **LAND USE AND ACCESS**

The site is currently proposed to include 4,300 square feet of office space, 2,632 square feet of temporary office space, and 28,810 square feet of manufacturing space. The site plan is attached for reference and shows two proposed access points. The roadway grades are relatively flat so acceptable sight distance is available at both proposed access locations.

The 2018 TIA assumed 4,000 square feet of office space and 20,000 square feet of manufacturing space.

## **TRIP GENERATION**

Table 1 shows the estimated average weekday, morning peak-hour, and afternoon peak-hour trip generation for the proposed site based on the rates from *Trip Generation, 12<sup>th</sup> Edition, 2025* by the Institute of Transportation Engineers (ITE) as well as the trip generation potential for the previously approved land use.

Compared to the 2018 TIA, the currently proposed land use is projected to generate about 60 additional vehicle-trips on the average weekday, with about half entering and half exiting the site during a 24-hour period. During the morning peak-hour, which generally occurs for one hour between 6:30 and 8:30 a.m., about 5 additional vehicles would enter and about 1 additional vehicle would exit the site. During the afternoon peak-hour, which generally occurs for one hour between 4:00 and 6:30 p.m., about 2 additional vehicles would enter and about 7 additional vehicles would exit the site.

Compared to the more recent 2024 Letter, the currently proposed land use is projected to generate about 6 fewer vehicle-trips on the average weekday, with about half entering and half exiting the site during a 24-hour period. During the morning peak-hour, which generally occurs for one hour between 6:30 and 8:30 a.m., about 2 fewer vehicles would enter and about 1 fewer vehicle would exit the site. During the afternoon peak-hour, which generally occurs for one hour between 4:00 and 6:30 p.m., about 1 fewer vehicle would enter and the same number of vehicles would exit the site.

**CONCLUSION**

The proposed land use trip generation potential is consistent with that assumed in the 2018 TIA and the 2024 Letter, so no auxiliary turn lanes are recommended due to low overall traffic volumes on E. 56<sup>th</sup> Avenue. No further analysis should be necessary.

\* \* \* \* \*

We trust our findings will assist you in gaining approval of the proposed Copeland Precast development. Please contact me if you have any questions or need further assistance.

Sincerely,

LSC TRANSPORTATION CONSULTANTS, INC.

By  \_\_\_\_\_  
Christopher S. McGranahan, PE  
Principal/President



CSM/wc 9-11-25

- Enclosures: Table 1  
Table 2 from 2018 TIA  
Table 1 from 2024 Letter  
Site Plan

**Table 1**  
**ESTIMATED TRAFFIC GENERATION COMPARISON**  
**Copeland Precast Compliance Letter**  
**Adams County, CO**  
**LSC #180932; September, 2025**

Trip Generating Category	Quantity	Trip Generation Rates <sup>(1)</sup>					Vehicle-Trips Generated				
		Average	AM Peak-Hour		PM Peak-Hour		Average	AM Peak-Hour		PM Peak-Hour	
		Weekday	In	Out	In	Out	Weekday	In	Out	In	Out
<b>PREVIOUSLY PROPOSED LAND USE FROM SEPTEMBER, 2018 COPELAND PRECAST TIA BY LSC</b>											
<u>Phase 1 (West Access):</u>											
Office <sup>(2)</sup>	4 KSF <sup>(3)</sup>	9.74	0.998	0.162	0.184	0.966	39	4	1	1	4
Manufacturing <sup>(4)</sup>	20 KSF	3.93	0.477	0.143	0.208	0.462	79	10	3	4	9
<i>Subtotal =</i>							<b>118</b>	<b>14</b>	<b>4</b>	<b>5</b>	<b>13</b>
<u>Phase 2 (East Access)</u>											
Industrial Park <sup>(5) (6)</sup>	741 KSF	3.37	0.324	0.076	0.084	0.316	2,496	240	56	62	234
<b>Grand Total =</b>							<b>2,614</b>	<b>254</b>	<b>60</b>	<b>67</b>	<b>247</b>
<b>PREVIOUSLY PROPOSED LAND USE IN PHASE 1 AREA - TWO ACCESS INTERSECTIONS (June 17, 2024 Copeland Precast Trip Generation Letter by LSC)</b>											
Office <sup>(2)</sup>	4.300 KSF <sup>(3)</sup>	10.84	1.338	0.182	0.245	1.195	47	6	1	1	5
Manufacturing <sup>(4)</sup>	28.810 KSF	4.75	0.517	0.163	0.229	0.511	137	15	5	7	15
<i>Subtotal =</i>							<b>184</b>	<b>21</b>	<b>6</b>	<b>8</b>	<b>20</b>
<b>Net Increase in Phase 1 Area =</b>							<b>66</b>	<b>7</b>	<b>2</b>	<b>3</b>	<b>7</b>
								<b>AM = 9</b>		<b>PM = 10</b>	
<b>CURRENTLY PROPOSED LAND USE IN PHASE 1 AREA - TWO ACCESS INTERSECTIONS</b>											
Office <sup>(2)</sup>	4.300 KSF <sup>(3)</sup>	7.83	1.091	0.149	0.189	0.991	34	5	1	1	4
Temporary Office <sup>(2)</sup>	2.632 KSF <sup>(3)</sup>	7.83	1.091	0.149	0.189	0.991	21	3	0	1	3
Manufacturing <sup>(4)</sup>	28.810 KSF	4.27	0.382	0.128	0.183	0.447	123	11	4	5	13
<i>Subtotal =</i>							<b>178</b>	<b>19</b>	<b>5</b>	<b>7</b>	<b>20</b>
<b>Net Increase in Phase 1 Area From 2018 TIA =</b>							<b>60</b>	<b>5</b>	<b>1</b>	<b>2</b>	<b>7</b>
								<b>AM = 6</b>		<b>PM = 9</b>	
<b>Net Increase in Phase 1 Area From 2024 Letter =</b>							<b>-6</b>	<b>-2</b>	<b>-1</b>	<b>-1</b>	<b>0</b>
								<b>AM = -3</b>		<b>PM = -1</b>	

**Notes:**

- (1) Source: *Trip Generation*, Institute of Transportation Engineers, 10th Edition, 2017 for 2018 TIA, 11th Edition, 2021 for 2024 Trip Generation Letter, and 12th Edition, 2025 for currently proposed uses.
- (2) ITE Land Use No. 710 - General Office Building
- (3) KSF = 1,000 square feet
- (4) ITE Land Use No. 140 - Manufacturing
- (5) ITE Land Use No. 130 - Industrial Park
- (6) The 68 acres of Industrial Park in Phase 2 was converted to KSF via a floor-area ratio (FAR) of 0.25.

**Table 2**  
**ESTIMATED TRAFFIC GENERATION**  
**Copeland Precast**  
**Adams County, CO**  
**LSC #180930; September, 2018**

Trip Generating Category	Quantity	Trip Generation Rates <sup>(1)</sup>					Vehicle-Trips Generated				
		Average Weekday	AM Peak-Hour In	PM Peak-Hour Out	PM Peak-Hour In	Average Weekday	AM Peak-Hour In	PM Peak-Hour Out	PM Peak-Hour In	PM Peak-Hour Out	
<b>PROPOSED LAND USE</b>											
<u>Phase 1:</u>											
Office <sup>(2)</sup>	4 KSF <sup>(3)</sup>	9.74	0.998	0.162	0.184	0.966	39	4	1	1	4
Manufacturing <sup>(4)</sup>	20 KSF	3.93	0.477	0.143	0.208	0.462	79	10	3	4	9
<i>Subtotal =</i>							<i>118</i>	<i>14</i>	<i>4</i>	<i>5</i>	<i>13</i>
<u>Phase 2:</u>											
Industrial Park <sup>(5) (6)</sup>	741 KSF	3.37	0.324	0.076	0.084	0.316	2,496	240	56	62	234
<b>Grand Total =</b>							<b>2,614</b>	<b>254</b>	<b>60</b>	<b>67</b>	<b>247</b>

Notes:

- (1) Source: *Trip Generation*, Institute of Transportation Engineers, 10th Edition, 2017.
- (2) ITE Land Use No. 710 - General Office Building
- (3) KSF = 1,000 square feet
- (4) ITE Land Use No. 140 - Manufacturing
- (5) ITE Land Use No. 130 - Industrial Park
- (6) The 68 acres of Industrial Park in Phase 2 was converted to KSF via a floor-area ratio (FAR) of 0.25.

**Table 1**  
**ESTIMATED TRAFFIC GENERATION COMPARISON**  
**Copeland Precast Compliance Letter**  
**Adams County, CO**  
**LSC #180931; June, 2024**

Trip Generating Category	Quantity	Trip Generation Rates <sup>(1)</sup>					Vehicle-Trips Generated				
		Average	AM Peak-Hour		PM Peak-Hour		Average	AM Peak-Hour		PM Peak-Hour	
		Weekday	In	Out	In	Out	Weekday	In	Out	In	Out
<b>PREVIOUSLY PROPOSED LAND USE FROM SEPTEMBER, 2018 COPELAND PRECAST TIA BY LSC</b>											
<u>Phase 1 (West Access):</u>											
Office <sup>(2)</sup>	4 KSF <sup>(3)</sup>	9.74	0.998	0.162	0.184	0.966	39	4	1	1	4
Manufacturing <sup>(4)</sup>	20 KSF	3.93	0.477	0.143	0.208	0.462	79	10	3	4	9
<i>Subtotal =</i>							<b>118</b>	<b>14</b>	<b>4</b>	<b>5</b>	<b>13</b>
<u>Phase 2 (East Access)</u>											
Industrial Park <sup>(5)(6)</sup>	741 KSF	3.37	0.324	0.076	0.084	0.316	2,496	240	56	62	234
<b>Grand Total =</b>							<b>2,614</b>	<b>254</b>	<b>60</b>	<b>67</b>	<b>247</b>
<b>CURRENTLY PROPOSED LAND USE IN PHASE 1 AREA - TWO ACCESS INTERSECTIONS</b>											
Office <sup>(2)</sup>	4.30 KSF <sup>(3)</sup>	10.84	1.338	0.182	0.245	1.195	47	6	1	1	5
Manufacturing <sup>(4)</sup>	28.81 KSF	4.75	0.517	0.163	0.229	0.511	137	15	5	7	15
<i>Subtotal =</i>							<b>184</b>	<b>21</b>	<b>6</b>	<b>8</b>	<b>20</b>
<b>Net Increase in Phase 1 Area =</b>							<b>66</b>	<b>7</b>	<b>2</b>	<b>3</b>	<b>7</b>
								<b>AM = 9</b>		<b>PM = 10</b>	

Notes:

- (1) Source: *Trip Generation*, Institute of Transportation Engineers, 10th Edition, 2017 for 2018 TIA and 11th Edition, 2021 for currently proposed uses.
- (2) ITE Land Use No. 710 - General Office Building
- (3) KSF = 1,000 square feet
- (4) ITE Land Use No. 140 - Manufacturing
- (5) ITE Land Use No. 130 - Industrial Park
- (6) The 68 acres of Industrial Park in Phase 2 was converted to KSF via a floor-area ratio (FAR) of 0.25.



Form No. GWS-31 02/2017	<b>WELL CONSTRUCTION AND YIELD ESTIMATE REPORT</b> State of Colorado, Office of the State Engineer 1313 Sherman St., Room 821, Denver, CO 80203 303.866.3581 www.water.state.co.us and dwrpermitsonline@state.co.us	For Office Use Only							
1. Well Permit Number: <u>84504-E</u> Receipt Number: <u>100098810</u>									
2. Owner's Well Designation: _____									
3. Well Owner Name: <u>Copeland Holdings</u>									
4. Well Location Street Address: _____									
5. As Built GPS Well Location (required): <input type="checkbox"/> Zone 12 <input checked="" type="checkbox"/> Zone 13 Easting: <u>53W03</u> Northing: <u>4405497</u>									
6. Legal Well Location: <u>SW 1/4, SE 1/4, Sec., 8 Twp. 3</u> <input type="checkbox"/> N or S <input checked="" type="checkbox"/> Range <u>24</u> <input type="checkbox"/> E or W <input checked="" type="checkbox"/> <u>10</u> P.M. County: <u>Adams</u> Subdivision: _____, Lot _____, Block _____, Filing (Unit) _____									
7. Ground Surface Elevation: _____ feet Date Completed: <u>11-2-10</u> Drilling Method: <u>rotary air</u>									
8. Completed Aquifer Name: <u>Denney</u> Total Depth: <u>500</u> feet Depth Completed: <u>500</u> feet									
9. Advance Notification: Was Notification Required Prior to Construction? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, Date Notification Given: _____									
10. Aquifer Type: <input type="checkbox"/> Type I (One Confining Layer) <input type="checkbox"/> Type I (Multiple Confining Layers) <input type="checkbox"/> Laramie-Fox Hills (Check one) <input checked="" type="checkbox"/> Type II (Not overlain by Type III) <input type="checkbox"/> Type II (Overlain by Type III) <input type="checkbox"/> Type III (alluvial/colluvial)									
11. Geologic Log:					12. Hole Diameter (in.) From (ft) To (ft)				
Depth	Type	Grain Size	Color	Water Loc.					
0-10	sand				9"	0	500		
10-85	shale								
85-115	coal								
115-125	sand								
125-135	shale								
135-195	sand								
195-280	sand/shale								
280-310	sand								
310-410	sand/shale								
410-450	sand								
450-510	shale								
510-540	sand/shale								
540-500	shale								
13. Plain Casing					OD (in)	Kind	Wall Size (in)	From (ft)	To (ft)
					6 3/8	Steel	1.88	+1	20
14. Filter Pack:					OD (in)	Kind	Wall Size (in)	From (ft)	To (ft)
					6"	P.V.C	Sch 40	20	110
15. Packer Placement:					Perforated Casing Screen Slot Size (in): <u>1.030</u>				
					6"	P.V.C	Sch 40	110	500
16. Grouting Record					Material	Amount	Density	Interval	Method
					Cement	50 sack	300 gal	0-110	+ Pipe
17. Disinfection: Type Chlorine Amt. Used 2 gallons					15. Packer Placement: Type _____ Depth _____				
18. Well Yield Estimate Data: <input type="checkbox"/> Check box if Test Data is submitted on Form Number GWS-39, Well Yield Test Report Well Yield Estimate Method: <u>air lift</u>									
Static Level: <u>165</u>					Estimated Yield (gpm) <u>50+</u>				
Date/Time measured: <u>11-2-2010</u>					Estimate Length (hrs) <u>2</u>				
Remarks: _____									
19. I have read the statements made herein and know the contents thereof, and they are true to my knowledge. This document is signed (or name entered if filing online) and certified in accordance with Rule 17.4 of the Water Well Construction Rules, 2 CCR 402.2. The filing of a document that contains false statements is a violation of section 37-91-108(1)(e), C.R.S., and is punishable by fines up to \$1,000 and/or revocation of the contracting license. If filing online the State Engineer considers the entry of the licensed contractor's name to be compliance with Rule 17.4.									
Company Name: <u>Crandall Drilling &amp; Pump Service</u>			Email: <u>crandalldrilling@gmail.com</u>			Phone w/area code: <u>(303) 622-4820</u>		License Number: <u>1229</u>	
Mailing Address: <u>PO BOX 357 Strasburg, CO 80136</u>									
Sign (or enter name if filing online) <u>Howard A. Crandall</u>					Print Name and Title <u>Howard Crandall - Owner</u>			Date: <u>12-28-2010</u>	



**ORIGINAL PERMIT APPLICANT(S)**

COPELAND HOLDINGS (COPELAND, BART)

**APPROVED WELL LOCATION**

Water Division: 1      Water District: 1  
Designated Basin: N/A  
Management District: N/A  
County: ADAMS  
Parcel Name: N/A  
Physical Address: N/A

**AUTHORIZED AGENT**

COPELAND HOLDINGS LLC (BIRDSSELL, JEREMIAH)

SW 1/4 SE 1/4 Section 8 Township 3.0 S Range 64.0 W Sixth P.M.

**UTM COORDINATES (Meters, Zone: 13, NAD83)**

Easting: 536403.0      Northing: 4405492.0

**PERMIT TO CONSTRUCT A NEW WELL**

**ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT**  
**CONDITIONS OF APPROVAL**

- 1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of this permit does not ensure that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
- 2) The construction of this well shall be in compliance with the Water Well Construction Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 18.
- 3) Approved pursuant to CRS 37-90-137(4) on the condition that this well is operated in accordance with the augmentation plan approved by the Division 1 Water Court in Case No. 2018CW3171. If the well is not operated in accordance with the terms of said decree, it will be subject to administration including orders to cease diverting water.
- 4) The use of groundwater from this well is limited to in-house use in one residence, use in an office, irrigation of up to 5,000 square-feet of irrigated area, industrial use, and fire protection purposes, including storage.
- 5) The total depth of the well shall not exceed 640 feet below ground surface, which corresponds to the base of the Denver aquifer. At this location the well must be constructed in accordance with Well Construction Rule 10.4.6 (2 CCR 402-2) for a Type 2 aquifer.
- 6) The pumping rate of this well shall not exceed 50 GPM (as requested).
- 7) The average annual amount of groundwater to be withdrawn shall not exceed 5 acre-feet and the total volume of groundwater to be withdrawn shall not exceed 1,500 acre-feet.
- 8) The entire length of the hole shall be geophysically logged as required by Rule 9 of the Statewide Nontributary Ground Water Rules prior to installing casing.
- 9) The owner shall mark the well in a conspicuous location with well permit number(s), name of the aquifer, and court case number(s) as appropriate. The owner shall take necessary means and precautions to preserve these markings.
- 10) A totalizing flow meter must be installed on this well and maintained in good working order. Permanent records of all diversions must be maintained by the well owner (recorded at least annually) and submitted to the Division Engineer upon request.
- 11) This well shall be constructed more than 600 feet from any existing well, completed in the same aquifer, that is not owned by the applicant.
- 12) This well shall be constructed not more than 200 feet from the location specified on this permit.
- 13) The return flow from the use of this well must be through an individual wastewater disposal system of the non-evaporative type where the water is returned to the same stream system in which the well is located.
- 14) This well is subject to administration by the Division Engineer in accordance with applicable decrees, statutes, rules, and regulations.

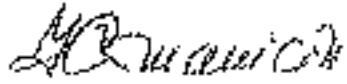
NOTE: This well is withdrawing water from a non-renewable aquifer. While the withdrawals from this aquifer are administered based on a 100 year aquifer life, water level declines may prevent this well from diverting the permitted amounts for that 100 years.

WELL PERMIT NUMBER 84564-F

RECEIPT NUMBER 10004886

NOTE: To ensure a maximum productive life of this well, perforated casing should be set through the entire producing interval of the approved zone or aquifer indicated above.

NOTE: This permit will expire on the expiration date unless the well is constructed and a pump is installed by that date. A Well Construction and Yield Estimate Report (GWS-31) and Pump Installation and Production Equipment Test Report (GWS-32) must be submitted to the Division of Water Resources to verify the well has been constructed and the pump has been installed. A one-time extension of the expiration date may be available. Contact the DWR for additional information or refer to the extension request form (GWS-64) available at: <http://Colorado.gov/water>



Date Issued: 8/3/2020

Expiration Date: 8/3/2021

Issued By IOANA COMANICIU

# RCVD DWR

## 07/24/2020

### GENERAL PURPOSE

#### Water Well Permit Application

Review instructions on reverse side prior to completing form.  
 The form must be computer generated, typed or in black or blue ink.

#### 1. Applicant Information

Name of applicant

Copeland Holdings

Mailing address

904 S. Lipan St

City

Denver

State

CO

Zip code

80223

Telephone # (area code & number)

303-936-4817

E-mail (online filing required)

jeremiah@copelandprecast.com

#### 2. Type Of Application (check applicable boxes)

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Construct new well | <input type="checkbox"/> Use existing well              |
| <input type="checkbox"/> Replace existing well         | <input type="checkbox"/> Change or increase use         |
| <input type="checkbox"/> Change source (aquifer)       | <input type="checkbox"/> Reapplication (expired permit) |
| <input type="checkbox"/> COGCC Well                    | <input type="checkbox"/> Other: _____                   |

#### 3. Refer To (if applicable)

Well permit #

Water Court case #

18CW3171

Designated Basin Determination #

Well name or #

#### 4. Location Of Proposed Well

County

Adams

1/4 of the SE 1/4

Section

8

Township

3

N or S

S

Range

64

E or W

E

Principal Meridian

6th

Distance of well from section lines (section lines are typically not property lines)

356

Ft. from

N

S

425

Ft. from

E

W

For replacement wells only - distance and direction from old well to new well

feet

direction

Well location address (Include City, State, Zip)  Check if well address is same as in item 1.

Optional: GPS well location information in UTM format. You must check GPS unit for required settings as follows:

Format must be UTM

Zone 12 or  Zone 13

Units must be Meters

Datum must be NAD83

Unit must be set to true north

Was GPS unit checked for above?  YES

Easting 536603

Northing 4405492

Remember to set Datum to NAD83

#### 5. Parcel On Which Well Will Be Located (PLEASE ATTACH A CURRENT DEED FOR THE SUBJECT PARCEL)

A. Legal Description (may be provided as an attachment):

The west Half of the Southeast Quarter of Section 8, Township

3 South, Range 64 West of the 6th P.M., County of Adams,

State of Colorado, EXCEPT the South 45.00 Feet.

B. # of acres in parcel

78.63

C. Owner

Copeland Holdings LLC

D. Will this be the only well on this parcel?  YES  NO (if no list other wells)

E. State Parcel ID# (optional):

018170000018

#### 6. Use Of Well (check applicable boxes)

Attach a detailed description of uses applied for.

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Industrial | <input type="checkbox"/> Dewatering System                      |
| <input type="checkbox"/> Municipal             | <input type="checkbox"/> Geothermal (production or reinjection) |
| <input checked="" type="checkbox"/> Irrigation | <input type="checkbox"/> Other (describe): _____                |
| <input checked="" type="checkbox"/> Commercial |   |

#### 7. Well Data (proposed)

Maximum pumping rate

50

gpm

Annual amount to be withdrawn

15

acre-feet

Total depth

388

feet

Aquifer

Denver Aquifer

#### 8. Land On Which Ground Water Will Be Used

Legal Description of Land (may be provided as an attachment):

The west Half of the Southeast Quarter of Section 8, Township

3 South, Range 64 West of the 6th P.M., County of Adams,

State of Colorado, EXCEPT the South 45.00 Feet.

(If used for crop irrigation, attach a scaled map that shows irrigated area.)

A. # Acres

78.63

B. Owner

Copeland Holdings LLC

C. List any other wells or water rights used on this land.

#### 9. Proposed Well Driller License #(optional): 1229

#### 10. Sign or Entered Name Of Applicant(s) Or Authorized Agent

The making of false statements herein constitutes perjury in the second degree, which is punishable as a class 1 misdemeanor pursuant to C.R.S. 24-4-104 (13)(a). I have read the statements herein, know the contents thereof and state that they are true to my knowledge.

Sign or enter name(s) of person(s) submitting application

Date (mm/dd/yyyy)

*[Signature]*

7-22-2020

If signing print name and title

Bart Copeland - President

#### Office Use Only

USGS map name

DWR map no.

Surface elev.

Receipt area only

10004886

AQUAMAP

WE 600' ok

WR

CWCB

TOPO

MYLAR

SBS ✓

DIV 1 WD 1 BA     MD

# PETROCK FENDEL POZNANOVIC, P.C.

ATTORNEYS

JAMES J. PETROCK  
FREDERICK A. FENDEL, III  
MATTHEW S. POZNANOVIC  
BRADFORD R. BENNING

October 3, 2018

GARY J. CROSBY, PARALEGAL

Bart and Brooke Copeland  
Copeland Enterprises, Inc.  
904 S. Lipan Street  
Denver, CO 80223

Re: Denver Basin Groundwater and Augmentation Plan/78 Acres in Adams County

Dear Bart and Brooke:

This letter provides you with information on the estimated available groundwater to provide a water supply on 78 acres, generally located in the W1/2SE1/4 of Section 8, T3S, R64W, Adams County. Attached is a chart showing the estimated types and annual amounts of groundwater underlying the land. The amounts are based on pumping each year for 100 years. (1 acre-foot = 325,851 gallons).

It is our understanding that you will have a pre-cast concrete operation on the land, which will require a water supply and well to provide commercial (office and sanitary facilities), industrial (concrete operation), and fire protection uses. We suggest that the best source of water for these uses is in the Denver aquifer described below. The Denver aquifer is closest to the surface and the well drilling costs will be less than if you drilled a deeper well. We also suggest that you talk to a well driller or groundwater consultant to verify that the Denver aquifer groundwater will be sufficient for these uses and to meet demand (estimated to be 2 acre-feet per year or 651,702 gallons at this time).

The water in the Denver aquifer is "not nontributary" and to use this water for the uses described above, a plan for augmentation plan to replace up to 4% of the annual amount withdrawn must be approved by the Water Court. The 4% replacement will be made each year by claiming the return flow from commercial use through a septic system. Wells constructed and operating pursuant to the plan will be metered so that annual withdrawals can be recorded and reported to the Division Engineer. A final decree is required in the case before you can obtain a well permit to construct and operate a Denver aquifer well for the commercial, industrial, and fire protection purposes on the land.

The water in the remaining and deeper aquifers (Upper and Lower Arapahoe and Laramie-Fox Hills) underlying the land is nontributary and a plan for augmentation is not required to withdraw this type of groundwater. The final decree in a water court case would also quantify the annual amounts available in these aquifers.

To complete the Water Court case to decree the amounts of groundwater and for approval of the plan for augmentation for use of a Denver aquifer well (or wells) for the uses described above, will take five or more months to complete, depending on if any objections are filed, and cost approximately \$3000.00 in legal fees and costs (approximately \$1500.00 of this amount is required to get the application filed, which includes approximately \$550.00 in filing and publication fees). If objections are filed, it will be necessary to settle the case with that party before the final decree is entered which could add additional legal fees and time to complete the case. Also, we will assist you in planning matters which we estimate will cost another approximately \$500.00 in legal fees.

To file the Water Court application prior to your closing on the land, written consent must be obtained from the current owners of the land. We will provide you with that form for the current owners to sign when required.

If you would like us to begin work as described above and planning matters, please sign and return the attached engagement letter with the retainer described in that letter.

If you have any questions or comments, please feel free to call me or Gary Crosby, Paralegal with this firm.

Sincerely,  
PETROCK FENDEL POZNANOVIC, P.C.



James J. Petrock

attachment

Bedrock Aquifer Evaluation Determination Tool

Denver Basin Aquifer - Specific Location Determination Tool

Applicant: g

Receipt No:

Evaluated By:

Location: NW 1/4 of SE 1/4 of Sec. 8, T.3S, R.64W. ( 1400 SSL, 1800 ESL)

Basin Designation: Location is within the UNKNOWN Designated Ground Water Basin

Ground Surface Elevation: 5400 Feet      Number of Acres: 78

Aquifer	Elevation (ft)		Net Sand	DEPTH (ft)		ANNUAL APPROP. (A-F)	STATUS
	Bot	Top		Bot	Top		
Upper Dawson	--	--	--	--	--	--	--
Lower Dawson	--	--	--	--	--	--	--
Denver	4776	5319	260.5	624	81	34.55	NNT* <del>---</del>
Upper Arapahoe	4587	4753	89.4	813	647	11.86	NT
Lower Arapahoe	4268	4512	102.9	1132	888	13.65	NT
Laramie-Fox Hills	3681	3955	160.0	1719	1445	18.72	NT

NOTE: 'E' indicates a location is at an aquifer boundary and the values may be more approximate.

Elevation of the bottom and the depth to the bottom of the Upper Arapahoe aquifer are approximate and should be checked against the DENVER BASIN ATLAS NO. 3.

\* Requires H<sub>2</sub>O replacement



## Permit to Install An On-site Waste Water Treatment System

---

**PROPERTY INFORMATION:**

**Address:** 35582 E 56th Ave  
Watkins CO 80137

**County:** Adams

**APN:** 0181700000018

**Dwelling Type:** Commercial

**No. of Bedrooms:**

**Water Supply:** Private Well

**Onsite ID:** Commercial

---

**OWNER INFORMATION:** Bart Capeland

**Address:** 35582 E 56th Ave Watkins CO 80137

**Phone:** (303) 936-4847

---

**PERMIT INFORMATION:** OWTS000017692

**Permit Type:** Install

---

**System Design:**

System Designed By:

Design Number:

Design Date:

Electrical Inspection Required?

---

**Associated Professionals**

**Business Name:** Kennedy Plumbing and Heating

**Name:** Greg Kennedy  
PO Box 627  
Bennett, CO 80102-

OWTS Installer

**NAWT Certification:** CI0001321 - 12/31/2025

**Exp.:** 17297INS

**Phone:** (303) 710-1417

**Email:** gtykennedy@aol.com

**Business Name:**

**Name:** ,

OWTS Designer

**NAWT Certification:**

**Exp.:**

**Phone:**

**Email:**

---

**CONDITIONS FOR INSTALLATION**

Installers must be licensed by Adams County Health Department. No installation shall be covered or used until inspected, correction made if necessary, and approved or expressly authorized by Adams County Health Department. The system installer must provide a record drawing before the system is covered.

---

**LIMITATIONS AND DISCLAIMER**

A permit to Install shall expire 1 Year from the date of issuance unless extended to a fixed date upon request by the Applicant and approved by Adams County Health Department.



## Permit to Install An On-site Waste Water Treatment System

**PROPERTY INFORMATION:**

**OWNER INFORMATION: Bart Capeland**

**Address:** 35582 E 56th Ave Watkins  
 CO 80137  
  
**County:** Adams  
  
**APN:** 0181700000018

**Dwelling Type:** Commercial  
**No. of Bedrooms:**  
**Water Supply:** Private Well  
  
**Onsite ID:** Commercial

**Address:** 35582 E 56th Ave Watkins CO 80137  
  
  
**Phone:** (303) 936-4847

**PERMIT INFORMATION:** OWTS000017692

**Permit Type:** Install

**OWTS PERMIT COMMENTS**

Install the system per Kordziel Engineering Job No. 2834, dated 6/12/2025. If discrepancies are discovered between the referenced design and this permit or the encountered site conditions, or if the site conditions do not allow the proposed septic system to be installed in accordance with the design, notify Adams County Health Department before proceeding with installation.

Install a 4500-gallon 2-compartment treatment tank, followed by a 3750-gallon 2-compartment Micro-fast 3.0 treatment unit, followed by 1000 gallon , 1 compartment Orenco fiberglass dosing tank with an Orenco duplex pumping system. The septic tanks must be approved by CDPHE and be installed no deeper than 48 inches below grade with risers to grade. The effluent will be pressurized by an Orenco PF 5005 pump. The pump will be controlled by an Orenco S1 control panel, with a hand-off-auto switch, dose counter, and event timer.

The pump dose should be approximately 150 gallons per pump cycle.

The effluent will be distributed to the soil treatment area through two automatic distribution valves. The soil treatment area will consist of 8 beds of chambers, each bed will have four rows of 80 chambers in each bed. The total number of chambers shall be 640. The infiltrative surface of the beds shall be installed a minimum of 24 inches and a maximum of 48 inches below grade. The chamber laterals will be pressurized and will have flushing valve assemblies at the distal ends of the chamber rows. Install 1.5-inch PVC distribution laterals suspended in the chambers. The orifices shall be 3/16-inch holes on 4-foot centers facing up, with a drain hole facing down at the front and back of each lateral.

There must be a minimum of 3 feet of ASTM C33 imported sand must be placed beneath the STA.

This system is considered a Higher-Level Treatment (HLT) system by Adams County Health Department and shall operate with a HLT Use Permit. The HLT Use Permit requires that a service contract be continually in force by a trained service provider. The HLT Use Permit must be renewed as required by Adams County Health Department.

Install all system components at depths specified relative to the site benchmark. Observe all regulations setbacks.

Permit Valid From 08/08/2025 to 08/08/2026

Issued By: Marty Easter  
 Date of Issue: 08/08/2025

## Proof of trash services

**From:** [Ray Reynolds](#)  
**To:** [Jed Ericksen](#)  
**Subject:** FW: E-Mail  
**Date:** Monday, October 13, 2025 10:06:56 AM

---

FYI



Ray Reynolds

[303-936-4817](tel:303-936-4817)

[Ray@copelandprecast.com](mailto:Ray@copelandprecast.com)

[904 S Lipan St | Denver, CO 80223](#)

---

**From:** Kmetko, Madison <[MKmetko@republicservices.com](mailto:MKmetko@republicservices.com)>  
**Sent:** Monday, October 13, 2025 9:59 AM  
**To:** Ray Reynolds <[ray@copelandprecast.com](mailto:ray@copelandprecast.com)>  
**Subject:** RE: E-Mail

Hi Ray,

Confirmed we will be able to service the new location. When is it set to open?

Best,

**Madison Kmetko**  
Account Manager

7373 Washington Street  
Denver, Colorado 80229  
e [mkmetko@republicservices.com](mailto:mkmetko@republicservices.com)  
o 720-456-8494  
c 720-456-8494  
w [RepublicServices.com](http://RepublicServices.com)



Sustainability in Action


---

**From:** Ray Reynolds <[ray@copelandprecast.com](mailto:ray@copelandprecast.com)>  
**Sent:** Monday, October 13, 2025 9:27 AM

**To:** Kmetko, Madison <[MKmetko@republicservices.com](mailto:MKmetko@republicservices.com)>

**Subject:** RE: E-Mail

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[Report Suspicious](#) 

This message came from outside your organization.

Yes, that is correct.



Ray Reynolds

303-936-4817

[Ray@copelandprecast.com](mailto:Ray@copelandprecast.com)

904 S Lipan St | Denver, CO 80223

---

**From:** Kmetko, Madison <[MKmetko@republicservices.com](mailto:MKmetko@republicservices.com)>

**Sent:** Monday, October 13, 2025 9:23 AM

**To:** Ray Reynolds <[ray@copelandprecast.com](mailto:ray@copelandprecast.com)>

**Subject:** RE: E-Mail

Hi Ray,

Happy Monday! Let me verify with my team really quick. It will be roll offs correct?

Best,

**Madison Kmetko**

Account Manager

7373 Washington Street

Denver, Colorado 80229

e [mkmetko@republicservices.com](mailto:mkmetko@republicservices.com)

o 720-456-8494

c 720-456-8494

w [RepublicServices.com](http://RepublicServices.com)




Sustainability in Action

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**From:** Ray Reynolds <[ray@copelandprecast.com](mailto:ray@copelandprecast.com)>  
**Sent:** Monday, October 13, 2025 9:17 AM  
**To:** Kmetko, Madison <[MKmetko@republicservices.com](mailto:MKmetko@republicservices.com)>  
**Subject:** E-Mail

**This Message Is From an External Sender**

[Report Suspicious](#) 

This message came from outside your organization.

Madison,

Can you please reply back to me that Republic is going to cover the new plant @ 35582 East 56<sup>th</sup> Ave. Watkins, Co. 80137

I need this for our GC out there

Thank you



Ray Reynolds

303-936-4817

[Ray@copelandprecast.com](mailto:Ray@copelandprecast.com)

[904 S Lipan St | Denver, CO 80223](#)