

SITE PLAN NOTES

- ALL DIMENSIONS AND RADII ARE TO THE FACE (FOR 6" REVEAL CURB) OR FLOWLINE (FOR CURB & GUTTER) UNLESS OTHERWISE NOTED.
- PARKING SPACE STRIPING TO BE WHITE, 4" WIDE, UNLESS OTHERWISE NOTED.
- LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY PREPARED BY CLC, INC.
- CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER TO BE REMOVED (IF APPLICABLE) SHALL BE SAWCUT. CONTRACTOR SHALL REMOVE TO NEXT JOINT IF SAWCUT IS WITHIN 5 FOOT OF A JOINT.
- THE PARKING AREAS AND ACCESS DRIVES SHALL CONSIST OF A FLEXIBLE COMPOSITE PAVEMENT SECTION OF SIX-INCHES OF ASPHALT OVER FOUR-INCHES OF AGGREGATE BASE COURSE (REFERENCE: SOILS REPORT). AT A MINIMUM, THE PAVEMENT SHALL BE DESIGNED TO SUPPORT THE WEIGHT IMPOSED BY FIRE APPARATUS (40.5 TON, 3 AXLES).
- THE DRIVE THRU LOADING AREA AND TRASH DUMPSTER AREA SHALL CONSIST OF A PORTLAND CEMENT CONCRETE PAVEMENT WITH A MINIMUM THICKNESS OF EIGHT (8) INCHES (UNLESS OTHERWISE NOTED) WITH A 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI.
- ALL HANDICAP RAMPS TO INCLUDE DETECTABLE WARNING PANELS.
- ALL CONSTRUCTION WITHIN PUBLIC-RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE CURRENT ADAMS COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.
- ALL ACCESS AND ACCESSIBLE PARKING IS DESIGNED TO MEET ADA ACCESSIBILITY REQUIREMENTS.
- ALL CURBS ARE 6" HIGH UNLESS OTHERWISE NOTED.

SITE PLAN LEGEND

- SITE PROPERTY LINE (WITH METES & BOUNDS)
- ADA ACCESSIBLE ROUTE
- ALIGNED PROPERTY LINE
- EXISTING CURBLINE
- PROPOSED 6" CURBLINE WITH GUTTER
- PROPOSED 6" CURBLINE WITH CURB PAN GUTTER
- PROPOSED 6" CURBLINE WITH SPILL PAN GUTTER
- PROPOSED STRIPED ISLAND (NOT BASED)
- PROPOSED CONCRETE PAVEMENT (WITH THICKNESS NOTED)
- LANDSCAPED AREA
- GRASS PAVE. REINFORCED LANDSCAPED AREA
- PROPOSED OVERHEAD HOOD/POLE LINE
- PROPOSED BUILDING LINE
- EXISTING MET. SIGNAL/ST. HEREON
- EXISTING STREET LIGHT
- EXISTING PARKING LOT LIGHT
- EXISTING OVERHEAD POWER POLE

CLIENT/DEVELOPER
DELWEST
 155 SOUTH MADISON ST., SUITE 326
 DENVER, CO 80209

CIVIL ENGINEER

Strategic Land Solutions, Inc.
 Civil Engineering & Land Planning-Construction
 2595 PONDEROSA ROAD
 FRANKTOWN, CO 80116
 703.384.7861 Phone
 rpalm@strategicsl.net
 Robert J. Palmer, PE
 President

ARCHITECT
 LAWRENCE ARCHITECTURE, INC.
 RICK LAWRENCE, AIA
 RICK@LAWARCH.COM

SCALE: PREPARED UNDER THE DIRECT SUPERVISION OF:
SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER
 ROBERT J. PALMER
 36320
 By Robert J. Palmer, PE
 Licensed Professional Engineer (CO PE #36320),
 AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

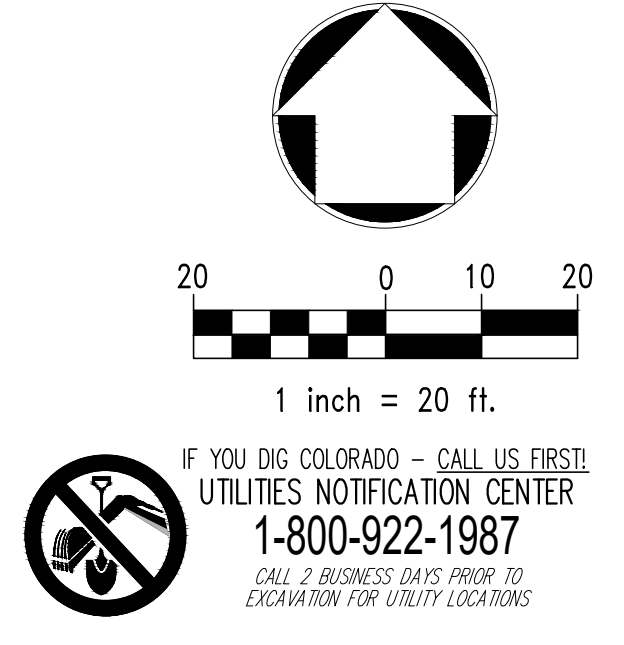
NO. DATE REVISION DESCRIPTION

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SITE ADDRESS:
 ELMWOOD NORTH TOWNHOMES
 8000 N. PECOS STREET
 ADAMS COUNTY, CO

SCALE: AS NOTED
DATE: 08/22/2025
DESIGNED BY: RJP
DRAWN BY: SEL
CHECKED BY: FPP
FILE NAME: CURRENTCIVIL.DWG
SLS IN: 24-0024-01

DRAWING TITLE:
SITE PLAN NORTH
SHEET NO.:
5 OF 21



SEE SHEET 6

- ADDITIONAL COVER FOUR-INCHES OF AGGREGATE BASE (REFERENCE: SOILS REPORT). AT A MINIMUM, THE P BE DESIGNED TO SUPPORT THE WEIGHT IMPOSED BY APPARATUS (40.5 TON, 3 AXLES).
- THE DRIVE THRU, LOADING AREA, AND TRASH DUMP SHALL CONSIST OF A PORTLAND CEMENT CONCRETE WITH A MINIMUM THICKNESS OF EIGHT (8) INCHES (U OTHERWISE NOTED) WITH A 28-DAY COMPRESSIVE S 4,500 PSI.
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 - ALL CURBS ARE 6" HIGH UNLESS OTHERWISE NOTED

SITE PLAN LEGEND

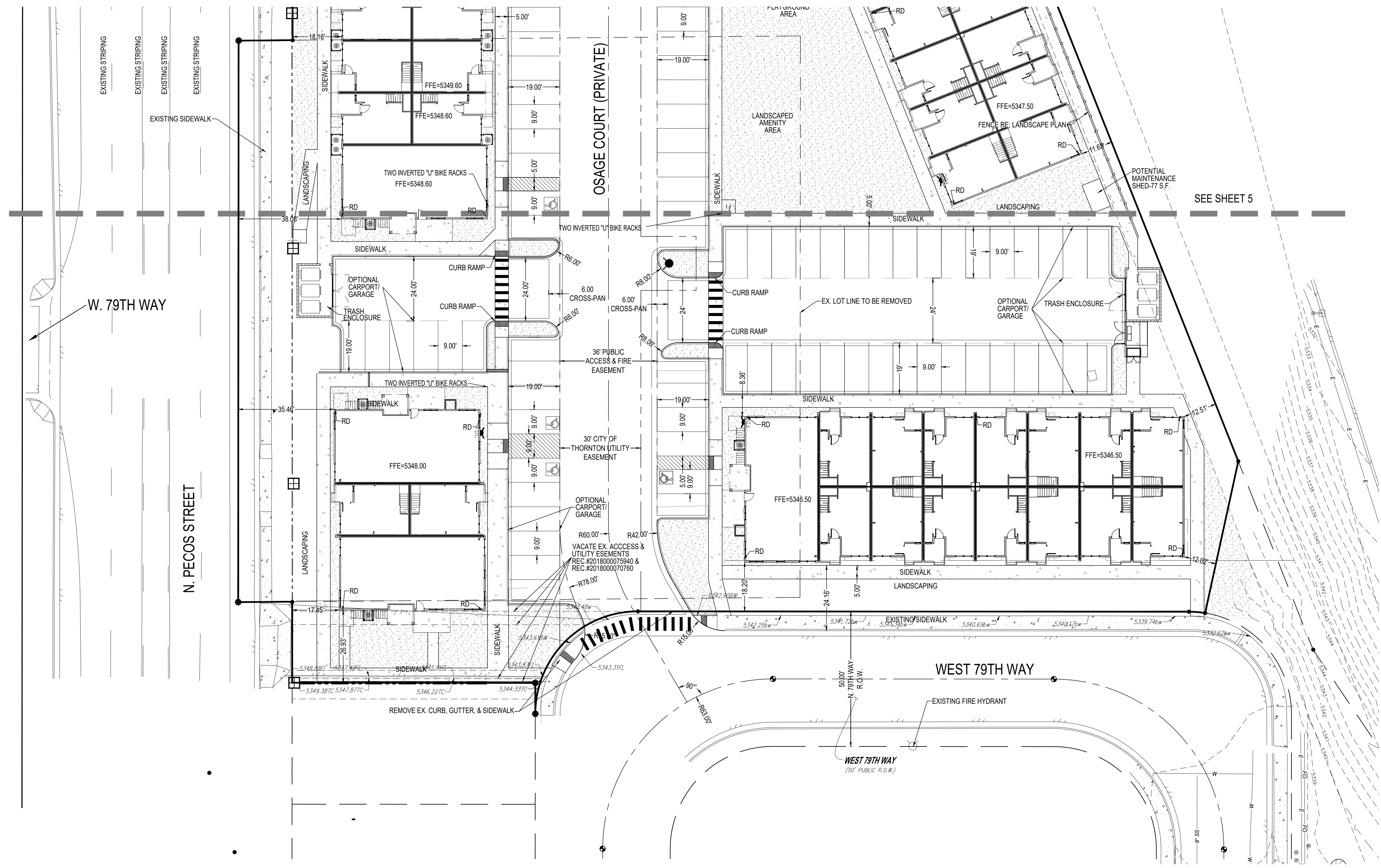
- SITE PROPERTY LINE WITH METES & BOUNDS (NOTED)
- ADA ACCESSIBLE ROUTE
- ADJACENT PARCEL, PROPERTY LINE
- EXISTING CURBLINE
- PROPOSED 6" CURB LINE WITH MOUNDING GUTTER
- PROPOSED 6" CURB LINE W/ CATCH PAN GUTTER
- PROPOSED 6" CURB LINE W/ SPILL PAN GUTTER
- PROPOSED STRIPED ISLAND (NOT BARRI)
- PROPOSED CONCRETE PAVEMENT (WITH THICKNESS NOTED)
- LANDSCAPED AREA
- GRASS PAVES & REINFORCED LANDSCAPED AREA
- PROPOSED OVERHEAD POWERPOLE LINE
- PROPOSED SIDEWALK LINE
- EXISTING SEMI AD CALLED OUT HEREIN
- EXISTING STREET LIGHT
- EXISTING PARKING LOT LIGHT
- EXISTING OVERHEAD POWERPOLE

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SEE SHEET 5

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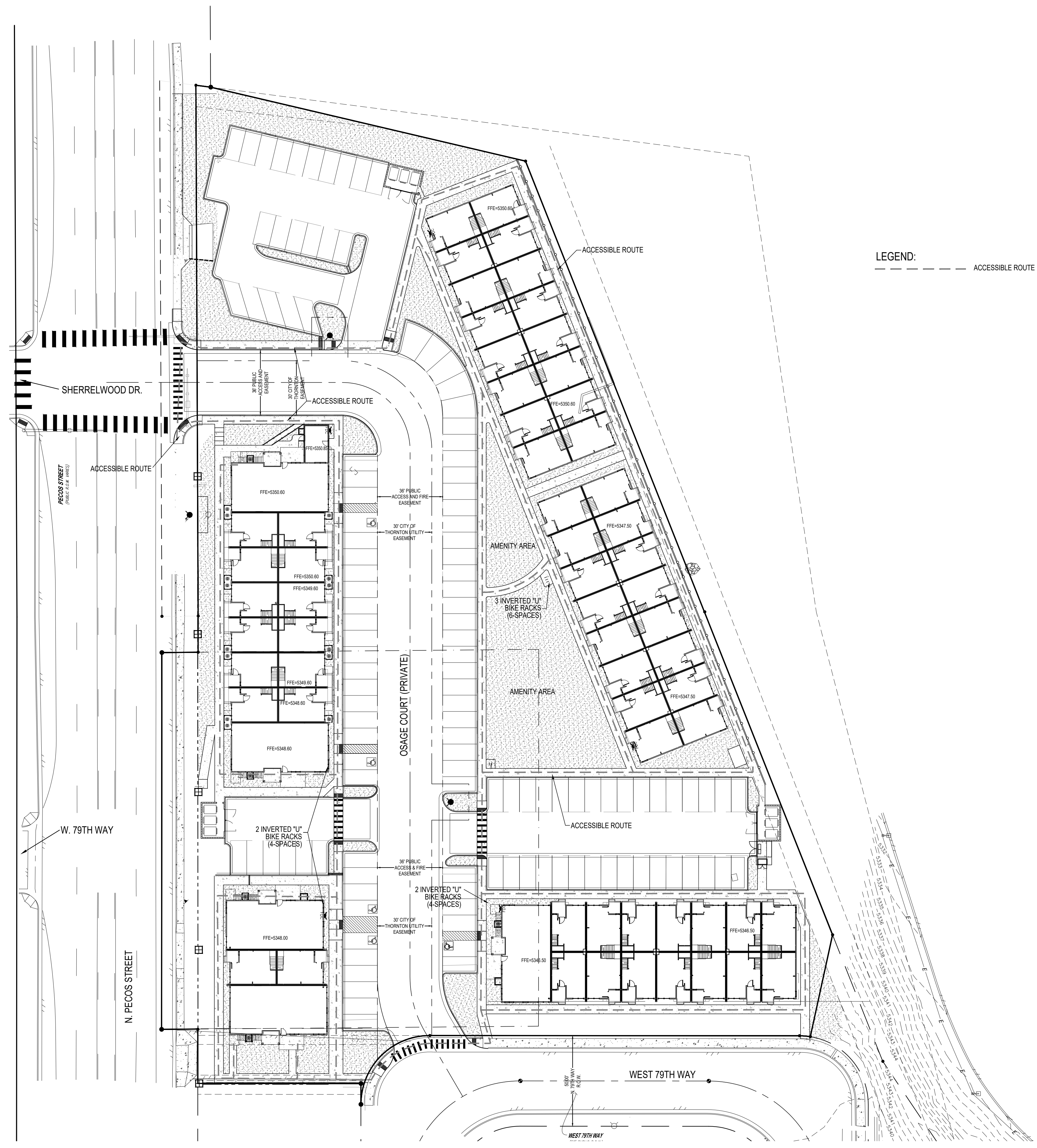
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SITE PLAN SOUTH

1 inch = 20 ft.

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 UTILITIES NOTIFICATION CENTER
 1-800-922-1987
 CALL 2 BUSINESS DAYS PRIOR TO EXCAVATION FOR UTILITY LOCATIONS



LEGEND:
 - - - - - ACCESSIBLE ROUTE

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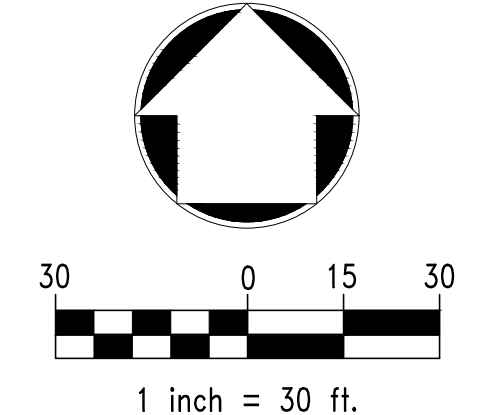
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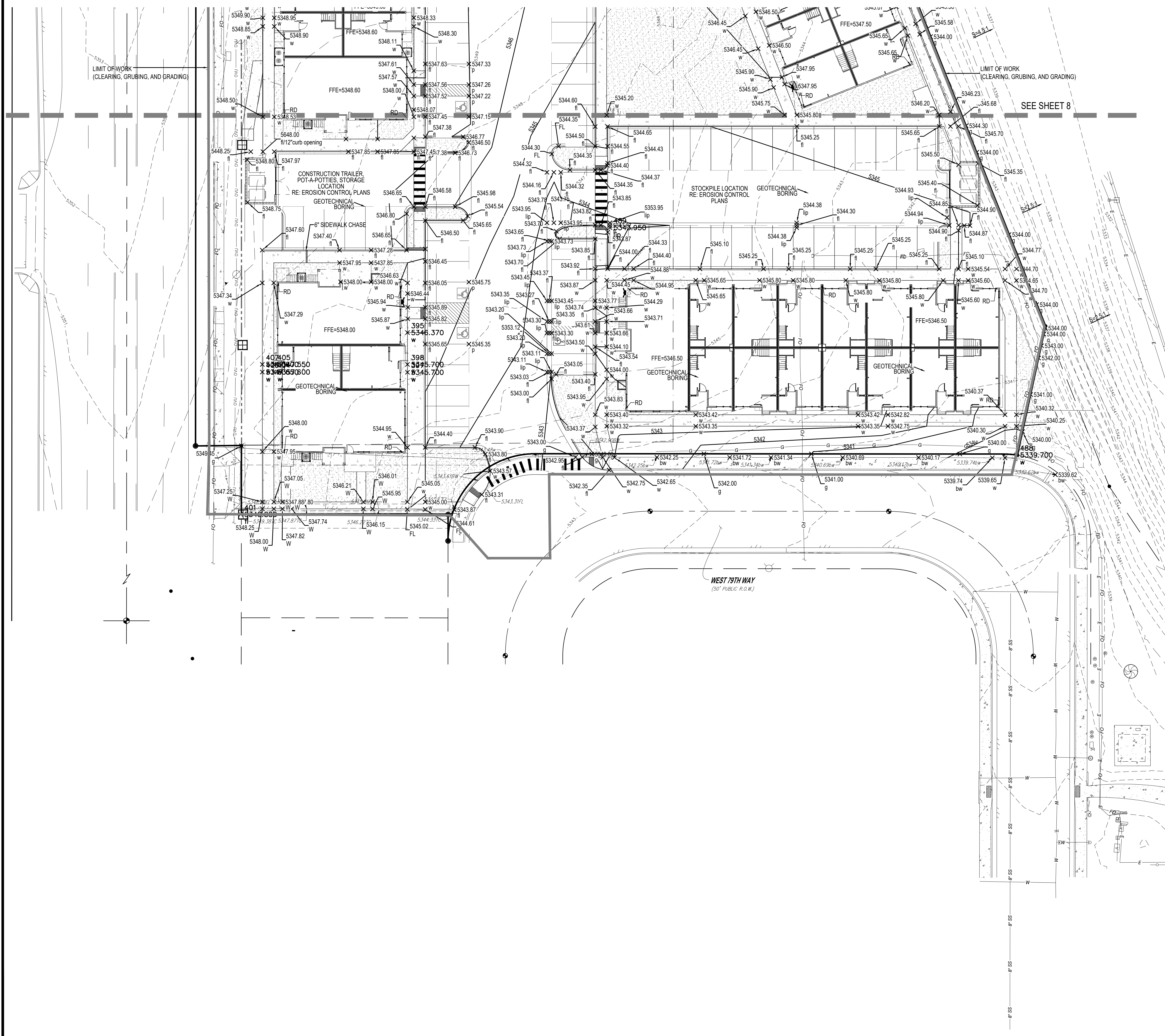
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MULTI-MODAL PLAN

SHEET NO:
7 OF 21



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GRADING and DRAINAGE NOTES

- REFER TO LAYOUT & CONTROL PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
- LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. USE WHATEVER METHODS NECESSARY INCLUDING BUT NOT LIMITED TO STAKED STRAW BALES AND/OR SILT FENCES. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE BY THE OWNER AND/OR THE ADAMS COUNTY. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR ADAMS COUNTY MAY AT THEIR OWN OPTION DIRECT THE CONTRACTOR IN THESE METHODS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT, STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE ADAMS COUNTY AT THE EXPENSE OF THE CONTRACTOR.
- ALL CURB AND GUTTER ELEVATIONS ARE FLOWLINE UNLESS NOTED OTHERWISE. ALL CURB AND GUTTER IS CATCH UNLESS NOTED OTHERWISE. FINISHED WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS NOTED OTHERWISE. NOTED PROPOSED ELEVATIONS ARE SHOWN TO FINISHED PAVEMENT OR GRADE. LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF WALKS AND CURBS. FINISH GRADING IS BY THE GENERAL CONTRACTOR.
- ALL FILL AREAS SHALL BE SCARIFIED EIGHT-INCHES AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT ±2% FROM OPTIMUM, UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. THE LOOSE THICKNESS OF EACH LAYER OF FILL MATERIAL SHALL NOT EXCEED EIGHT-INCHES. AREAS TO BE PAVED SHALL BE SCARIFIED AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT ±2% FROM OPTIMUM UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL EMPLOY THE ORIGINAL SOILS ENGINEER TO TEST ALL EARTHWORK TO INSURE COMPLIANCE WITH SOILS REPORT.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE ADAMS COUNTY ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER / OWNER'S REPRESENTATIVE OF ANY PROBLEMS, IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- CURB (HANDICAP ACCESSIBLE) RAMPS ARE TO BE PROVIDED AT INTERSECTIONS AND DRIVE ACCESSES, AS SHOWN.
- ALL HANDICAP RAMPS AND DETECTABLE WARNINGS SHALL CONFORM TO THE ADAMS COUNTY STANDARD DETAILS. 5 FOOT BY 5 FOOT LANDINGS WITH A MAXIMUM GRADE OF 2 PERCENT SHALL BE LOCATED AT THE TOP OF ALL HANDICAP RAMPS.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT ADAMS COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.

GRADING & DRAINAGE LEGEND

25 60FL	PROPOSED SPOT GRADE - FLOWLINE
25 60P	PROPOSED SPOT GRADE - PAVEMENT
25 60TC	PROPOSED SPOT GRADE - TOP OF CURB
25 60G	PROPOSED SPOT GRADE - GROUND
25 60ME	PROPOSED SPOT GRADE - MATCH EXISTING
25 60W	PROPOSED SPOT GRADE - TOP OF WALK
25 60HP	PROPOSED SPOT GRADE - HIGH POINT
25 60GP	PROPOSED SPOT GRADE - GRADE BREAK
25 60P	PROPOSED SPOT GRADE - TOP OF PAVEMENT
25 60P	PROPOSED SPOT GRADE - EDGE OF CONCRETE
25 60EOC	6" CURB WITH 1" CATCH GUTTER
	6" CURB WITH 1" SPILL GUTTER
	6" MONOLITHIC CURB WITH 1" SPILL GUTTER
	EXISTING FLOW
	EXISTING STORM DRAIN WITH PIPE SIZE & TYPE NOTED
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	PROPOSED ELECTRICAL LINE
	PROPOSED STORM DRAIN
	PROPOSED SANITARY SEWER
	WATER LINE
	EXISTING INTERM CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED INTERM CONTOUR
	PROPERTY LINE
	100-YEAR FLOOD BOUNDARY

CLIENT/DEVELOPER
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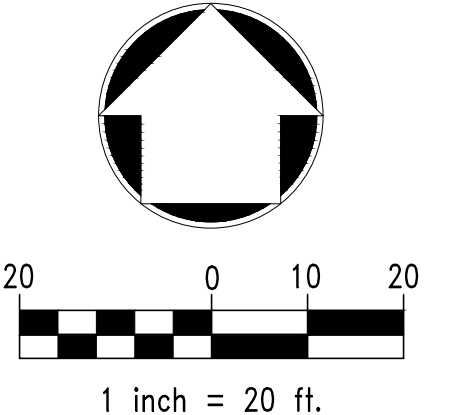
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 8000 N. PECOS STREET
 ADAMS COUNTY, CO

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DRAWING TITLE:
PRELIMINARY GRADING PLAN SOUTH

SHEET NO.:
9 OF 21

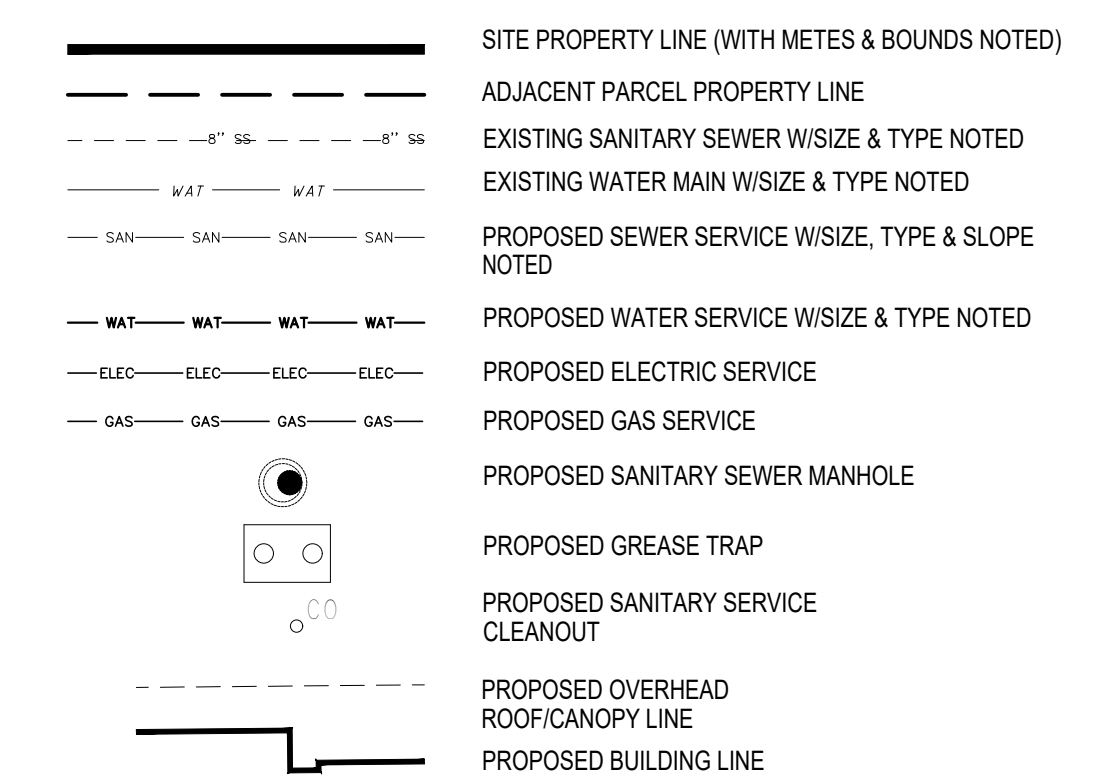
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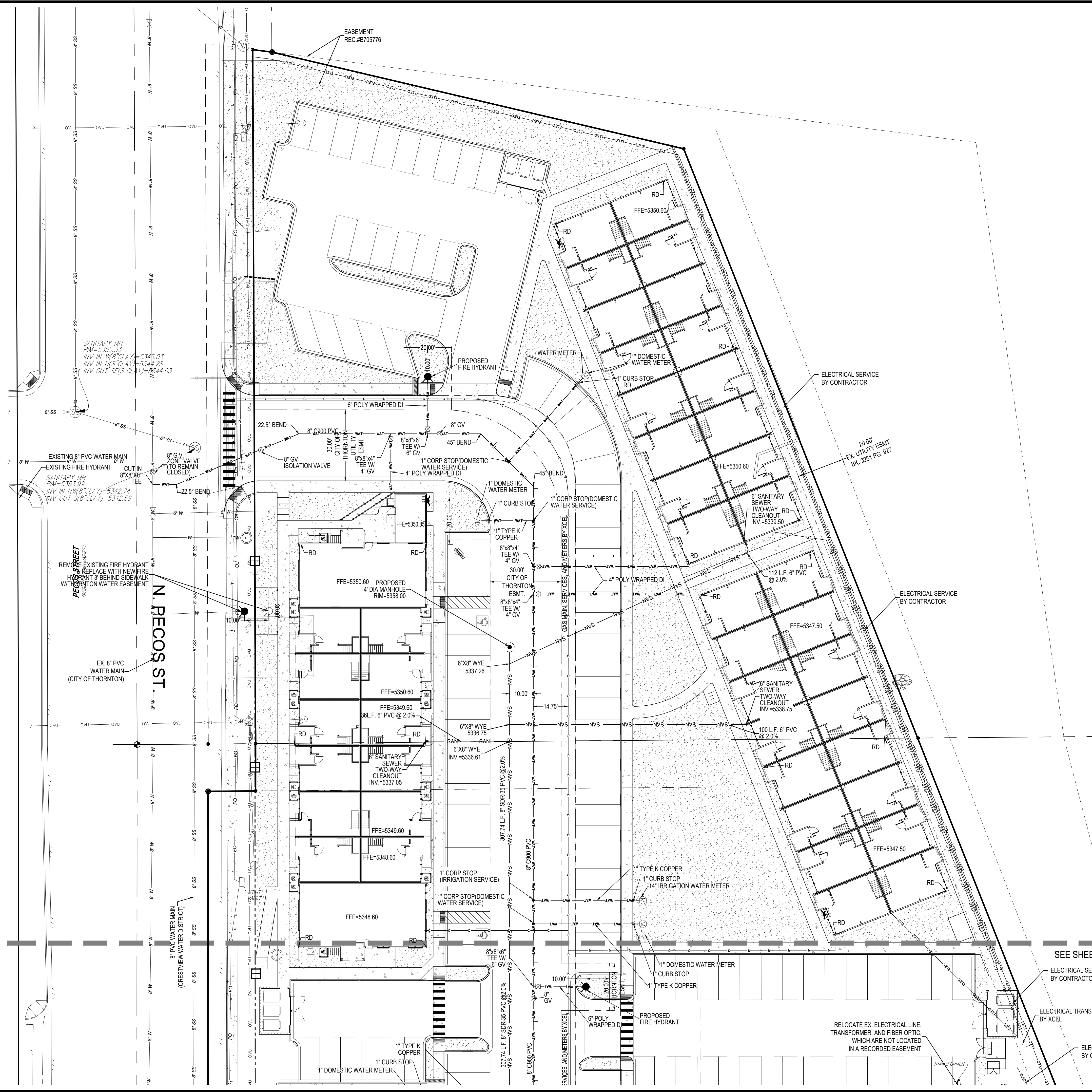
UTILITY NOTES:

1. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK. PROTECT UTILITIES FROM DAMAGE DURING CONSTRUCTION.
2. OWNER WILL OBTAIN ALL PERMITS FOR UTILITY HOOKUPS. CONTRACTOR WILL COORDINATE ACTUAL HOOKUPS WITH UTILITY COMPANIES IMPACTED.
3. REFER TO LAYOUT & CONTROL PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
4. EXISTING UTILITY INFORMATION TAKEN FROM THE SURVEY PREPARED BY ENGINEERING SERVICE COMPANY.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE ADAMS COUNTY ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE ADAMS COUNTY ENGINEERING DIVISION INSPECTION SECTION, A MINIMUM OF 48 HOURS AND A MAXIMUM OF 116 HOURS PRIOR TO STARTING CONSTRUCTION.
7. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR ONE (1) YEAR FROM THE DATE OF CITY ACCEPTANCE, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE ADAMS COUNTY.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER, OWNER'S REPRESENTATIVE OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
9. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS. PIPE ZONE (BEDDING) COMPACTION SHALL BE 97% STANDARD PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY. TRENCH ZONE COMPACTION SHALL BE 97% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY INSIDE STREET RIGHTS-OF-WAY, AND 97% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY OUTSIDE STREET RIGHTS-OF-WAY UNLESS SPECIFIED OTHERWISE.
10. PRIVATE STORM SEWERS WILL BE SDR-35 PVC, OR OTHER MATERIAL APPROVED BY THE ADAMS COUNTY ENGINEERING DEPARTMENT.
11. ALL PIPE SHALL BE INSTALLED WITH CLASS B BEDDING.
12. POLYVINYL CHLORIDE (PVC) PIPE SHALL CONFORM TO ASTM D-3034 TYPE PSM WITH A MINIMUM SDR OF 35. JOINTS SHALL BE ELASTOMETRIC GASKET TYPE MEETING THE REQUIREMENTS OF ASTM D-3212.
13. WATER SERVICE LINES SHALL BE TYPE "K" COPPER.
14. COORDINATE LOCATION OF ELECTRIC METER AND TRANSFORMER, AND GAS METER WITH MECHANICAL DRAWINGS. CONTRACTOR TO COORDINATE SERVICE CONNECTIONS WITH UTILITY COMPANY.
15. ALL CONSTRUCTION WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT ADAMS COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.

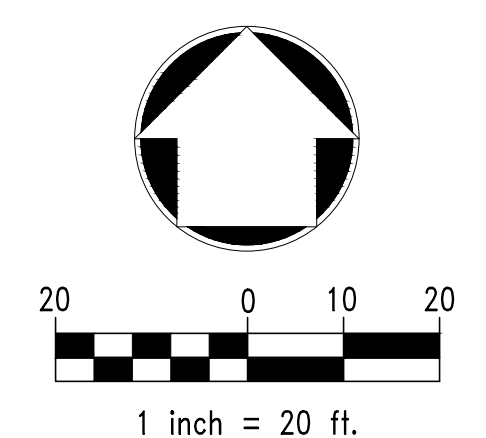
UTILITY PLAN LEGEND



UTILITY NOTE:
THE WATER AND SANITARY SEWER INFORMATION SHOWN HERE IS FOR INFORMATION ONLY. ALL WATER AND SANITARY SEWER WORK SHALL BE PER THE APPROVED CITY OF THORNTON UTILITIES PLAN.



SEE SHEET 12



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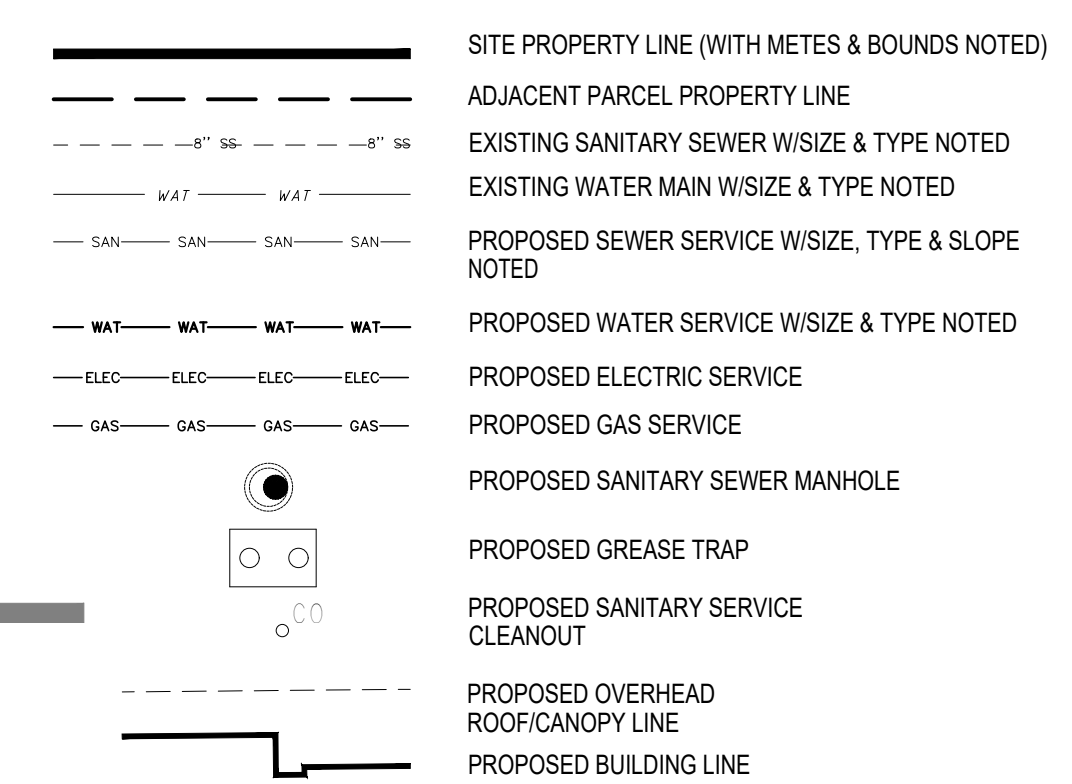
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PRELIMINARY UTILITY PLAN NORTH

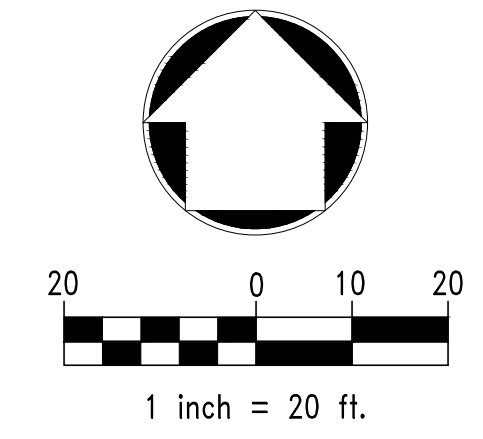
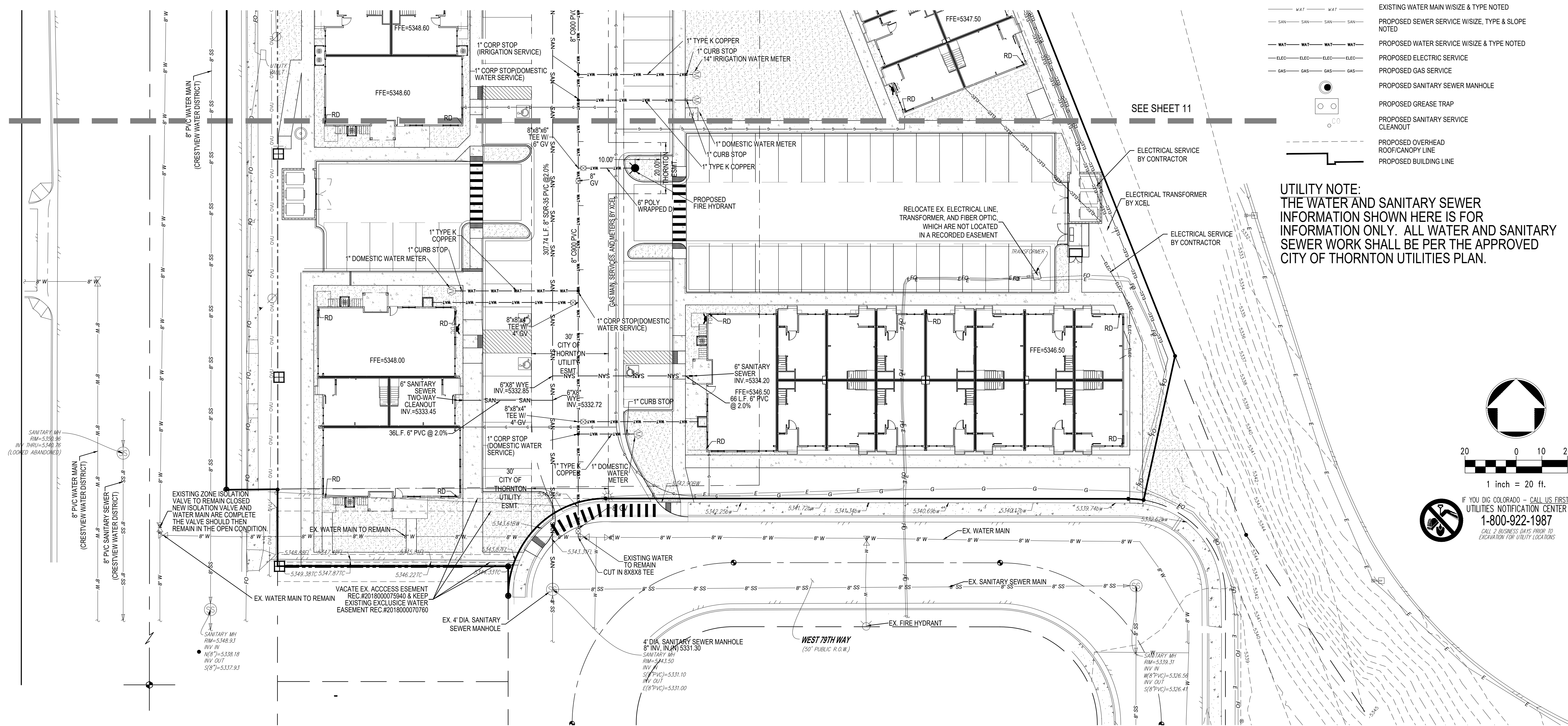
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UTILITY PLAN LEGEND



UTILITY NOTE:
 THE WATER AND SANITARY SEWER INFORMATION SHOWN HERE IS FOR INFORMATION ONLY. ALL WATER AND SANITARY SEWER WORK SHALL BE PER THE APPROVED CITY OF THORNTON UTILITIES PLAN.



IF YOU DIG COLORADO - CALL US FIRST!
 UTILITIES NOTIFICATION CENTER
 1-800-922-1987
 CALL 2 BUSINESS DAYS PRIOR TO EXCAVATION FOR UTILITY LOCATIONS

CLIENT/DEVELOPER
DELWEST
 DELWEST
 155 SOUTH MADISON ST., SUITE 326
 DENVER, CO 80209

CIVIL ENGINEER
Strategic Land Solutions, Inc.
 Civil Engineering & Land Planning-Subsidiary
 2595 PONDEROSA ROAD
 FRANKTOWN, CO 80116
 703.884.7861 Phone
 palmer@strategics.net
 Robert J. Palmer, PE
 President

ARCHITECT
 LAWRENCE ARCHITECTURE, INC.
 RICK LAWRENCE, AIA
 RICK@LAWARCH.COM

SEAL: PREPARED UNDER THE DIRECT SUPERVISION OF:
 SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER
 36320
 By Robert J. Palmer, PE
 Licensed Professional Engineer (CO PE #36320),
 AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

NO.	DATE	REVISION DESCRIPTION

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SITE ADDRESS:
ELMWOOD NORTH TOWNHOMES
 8000 N. PECOS STREET
 ADAMS COUNTY, CO

SCALE:	AS NOTED
DATE:	08/22/2025
DESIGNED BY:	RJP
DRAWN BY:	SEL
CHECKED BY:	FPP
FILE NAME:	CURRENTCIVIL.DWG
SLS IN: 24-0024-01	

DRIVING TITLE:
PRELIMINARY UTILITY PLAN SOUTH

SHEET NO:
12 OF 21

GENERAL NOTES

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- 1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
2. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
3. EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
4. GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
A. 1" BELOW CURB FOR ALL SEEDED AREAS.
B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
5. CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
6. AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
7. FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
8. CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD AND SEED IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
9. MULCH: ALL PLANTING BEDS THAT CALL FOR WOOD MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

ALL AREAS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH, UNLESS NOTED OTHERWISE. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE.

TREES IN COBBLE/ROCK MULCH, SOD AND SEEDED AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH RING, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH SOD AND SEEDED AREAS TO RECEIVE A WOOD MULCH RING AT 2X DIAMETER OF ROOT BALL, 3" DEPTH. NO FABRIC UNDERLAYMENT IN WOOD MULCH RINGS.

- 10. SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
11. REMOVE DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
12. CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
13. ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACED AT 2" MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATIONS BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!
14. STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
15. CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
16. ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
17. ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
18. CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

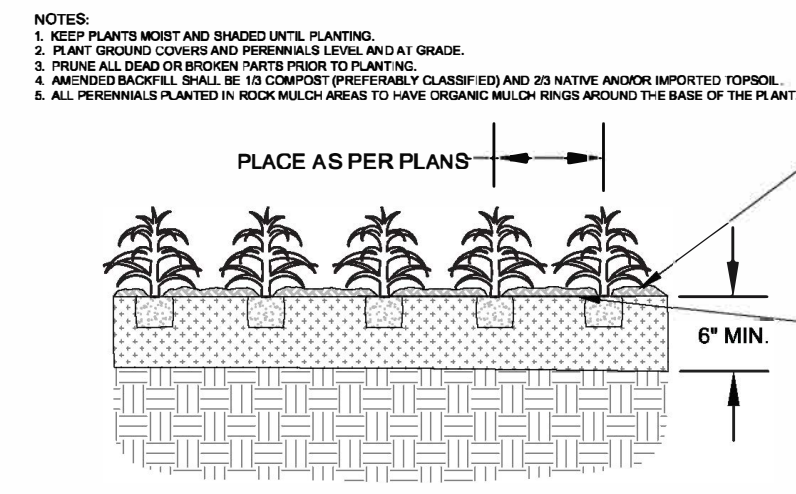
- 19. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.
REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE.
20. MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE 'ALCC SPECIFICATIONS HANDBOOK' REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

EXISTING TREES
EXISTING TREES DESIGNATED ON PLANS AS "TO REMAIN", OR MARKED FOR PROTECTION AND PRESERVATION IN THE FIELD, SHALL NOT BE REMOVED OR DAMAGED.

NO GRADING TO OCCUR WITHIN THE CRITICAL ROOT ZONE / DRIP LINE OF EXISTING TREES. ALL GRADING AROUND EXISTING TREES TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

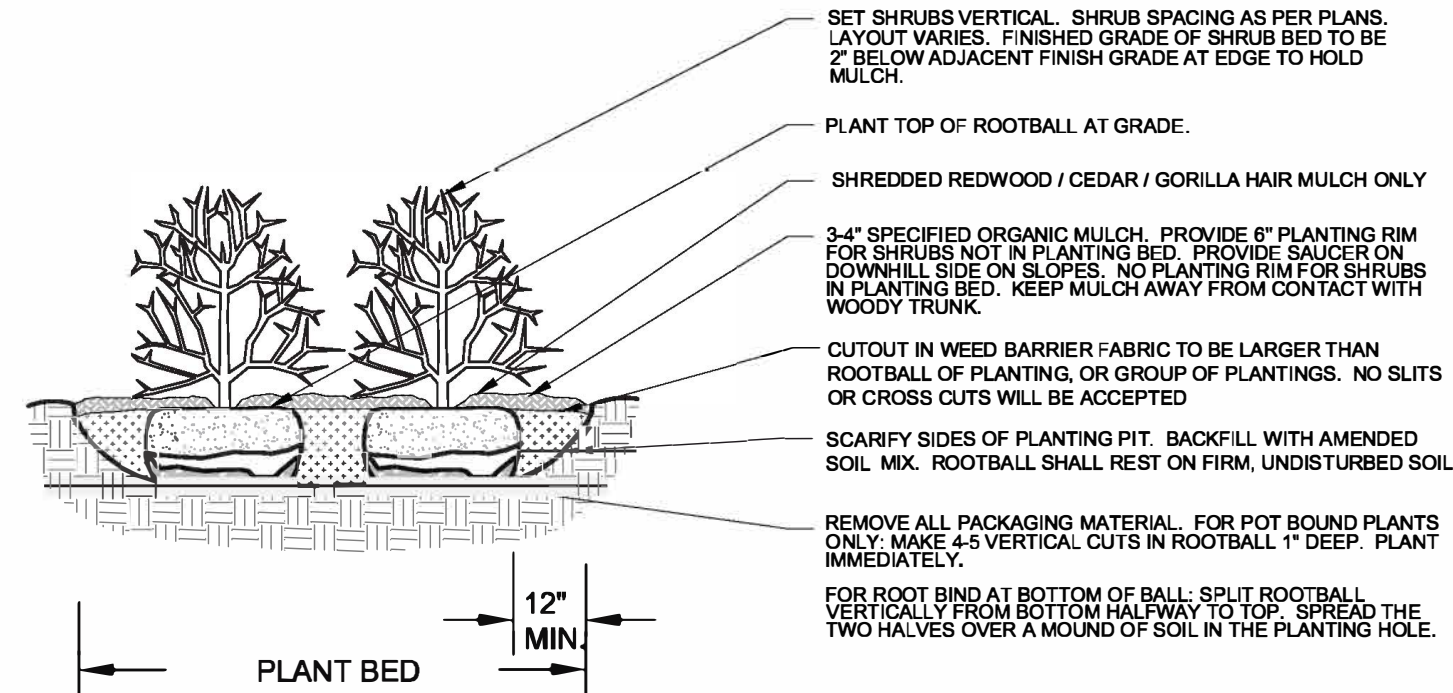
PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERRECTED AT A HEIGHT OF 3' OR GREATER. FENCING TO BE SUPPORTED BY STURDY STOCK, CAPABLE OF SUPPORTING FENCING UNTIL ALL CONSTRUCTION OPERATIONS ARE COMPLETED. PLACE NO CLOSER THAN 6" FROM TRUNK, OR ONE HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. WITHIN THE PROTECTED ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, WAIST, DEBRIS, OR FILL, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID SUCH. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE ROOTS HAVE A CHANCE TO DRY OUT, AND THOROUGHLY WATER THE TREE IMMEDIATELY.



PERENNIAL/GROUNDCOVER PLANTING DETAIL
L2.1 NOT TO SCALE

- NOTES:
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
6. AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

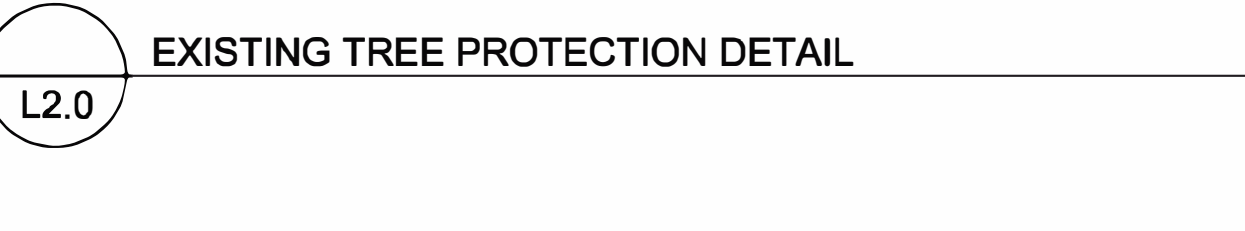


SHRUB PLANTING DETAIL
L2.0 NOT TO SCALE SECTION

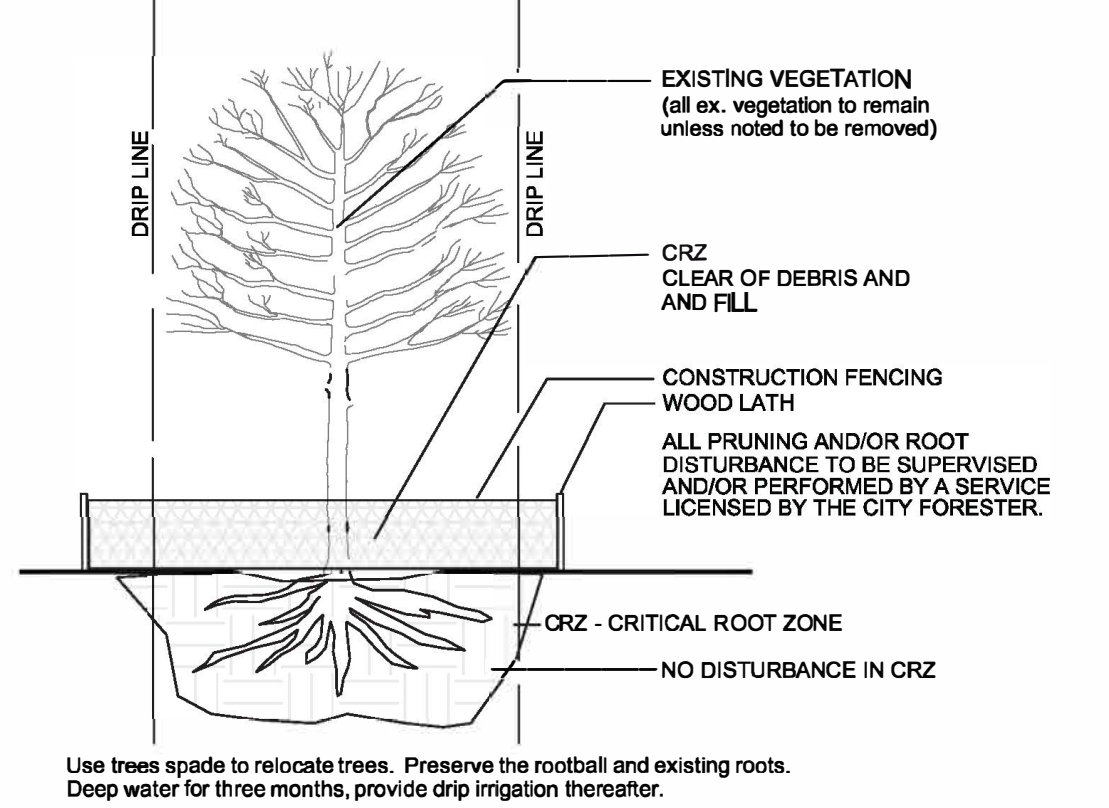
EXISTING TREE PROTECTION DIRECTIONS:

PROTECTIVE FENCING:
FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES. FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS.

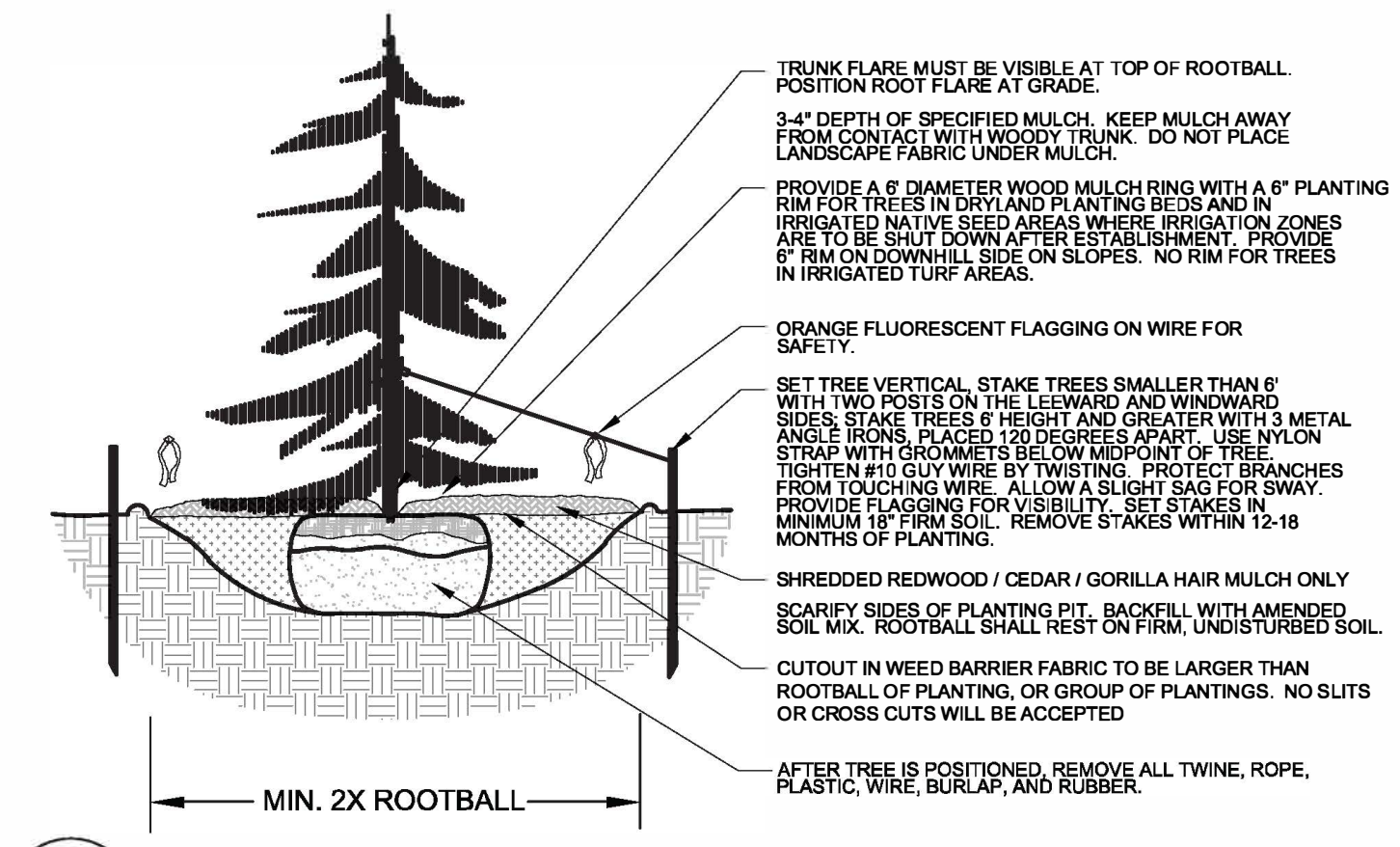
WATERING, MULCHING, AND FERTILIZATION:
PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGEN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.F. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE).



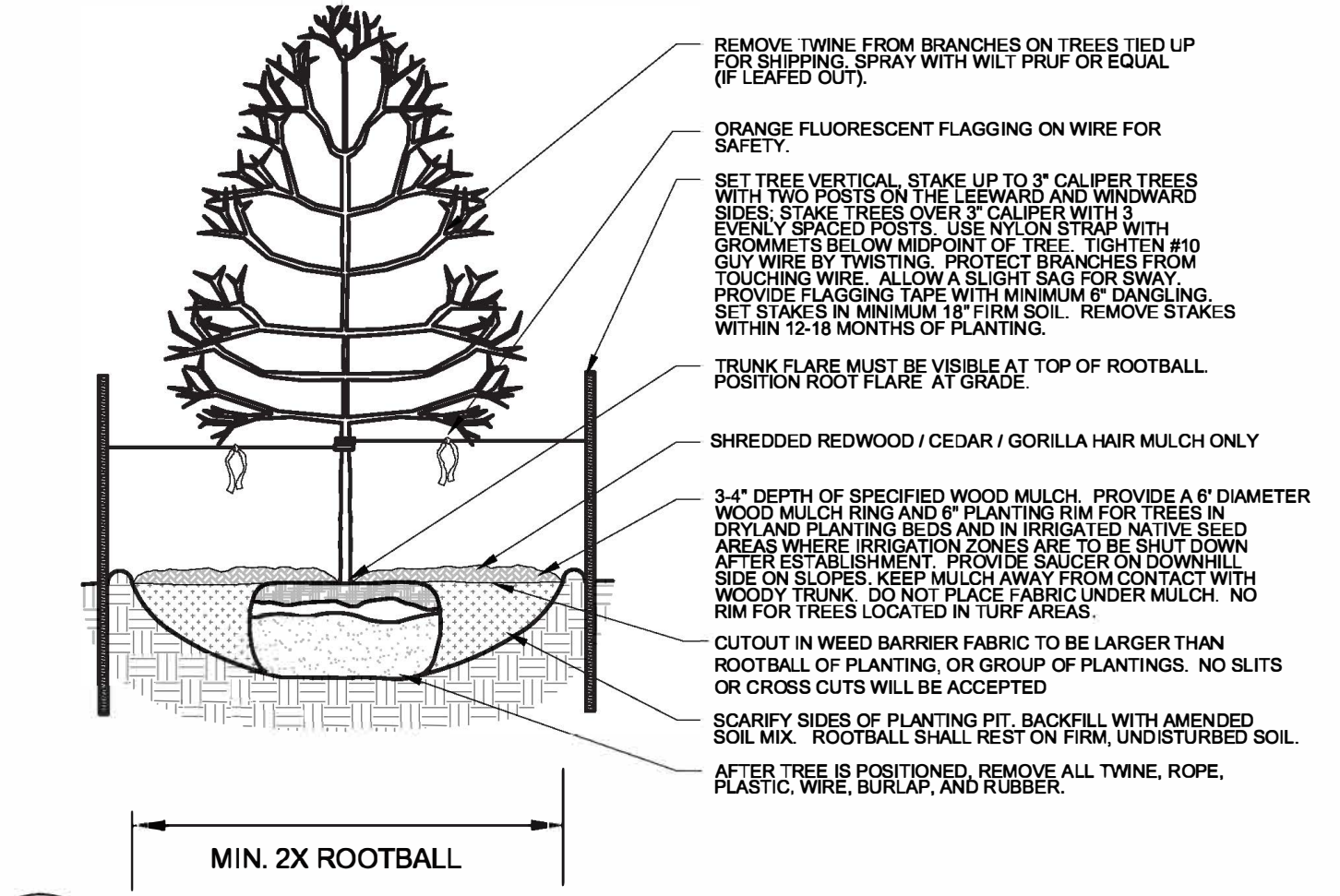
EXISTING TREE PROTECTION DETAIL
L2.0 NOT TO SCALE SECTION



- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



EVERGREEN TREE PLANTING DETAIL
L2.0 NOT TO SCALE SECTION



DECIDUOUS TREE PLANTING DETAIL
L2.0 NOT TO SCALE SECTION

CLIENT/OWNER
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President

ARCHITECT:
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SCALE:

Table with 3 columns: NO., DATE, REVISION DESCRIPTION

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SITE ADDRESS
ELMWOOD NORTH TOWNHOMES
8000 N. PECCOS STREET
ADAMS COUNTY, CO

Table with 2 columns: FIELD, VALUE. Fields include DATE (08/22/2025), DESIGNED BY (JRO), DRAWN BY (JRO), CHECKED BY (NAM), and DRAWING TITLE (Landscape Details & Notes).

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Land Planning - Irrigation Design
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(303) 443-0388 - nrd@ndscolorado.com



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 Denver, Colorado 80202
 Office Phone: (303) 728-4065
 Office Fax: (303) 974-5239

SEAL:

ARCHITECT:
LAWRENCE ARCHITECTURE, INC.
 6775 Canyon Blvd, Suite 300
 Highlands Ranch, CO 80126
 P: 303.779.4879
 F: 303.779.4878
 www.lawrencea.com

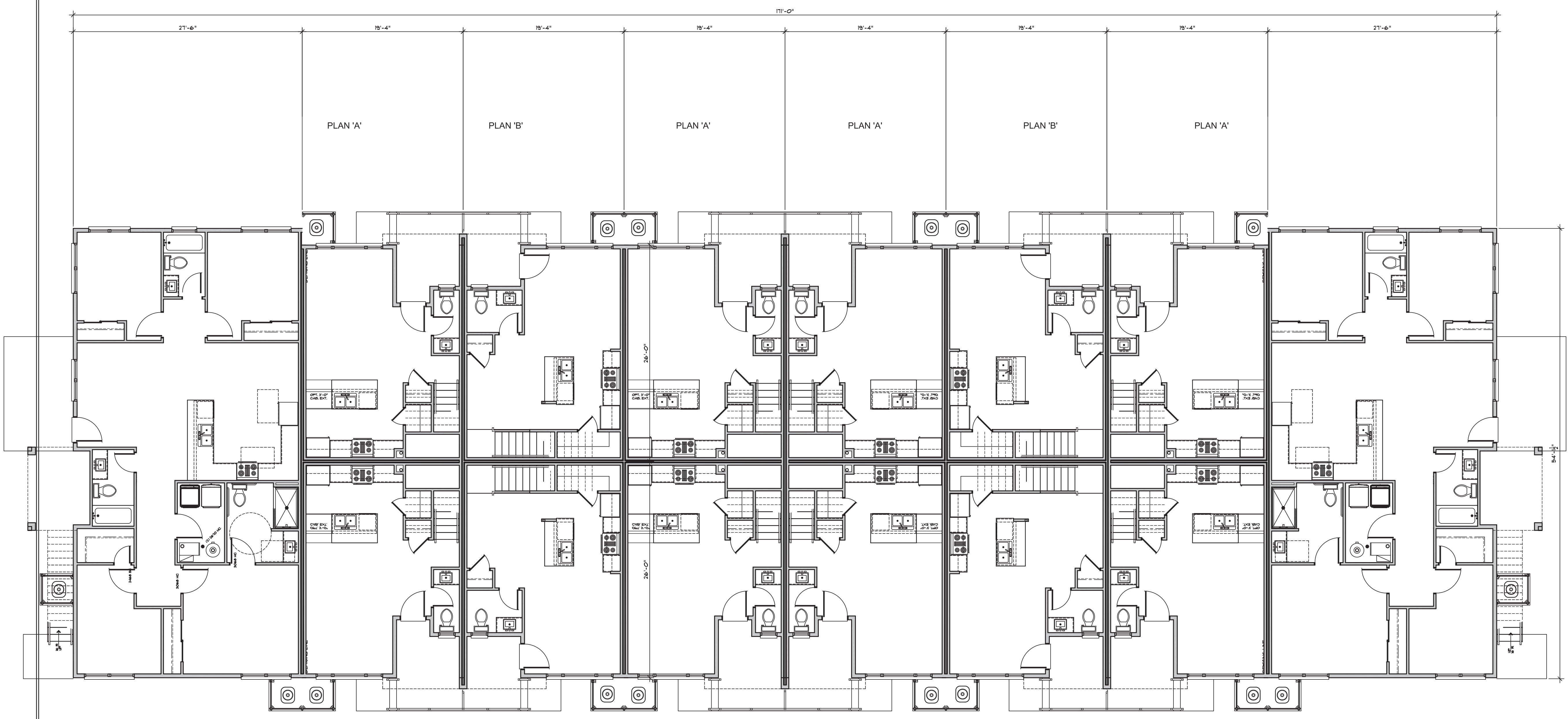


PROJECT:
 MULTI-FAMILY TOWNHOMES
 8000 N. PECOS BOULEVARD
 ADAMS COUNTY, COLORADO

SHEET TITLE:
 OVERALL BUILDING
 MAIN LEVEL FLOOR PLAN

DATE:	28 NOV 2023
REVISIONS:	15 JAN 2024
	19 JAN 2024
	13 DEC 2024
	26 JUN 2025
FILE NO.:	23027_A1
PROJECT NO.:	23027

ELMWOOD NORTH
SHEET NO.:
18 of 21



PLAN 'C' - MAIN LEVEL
 PLAN 'D' - 2nd / 3rd LEVEL

PLAN 'A'

PLAN 'B'

PLAN 'A'

PLAN 'A'

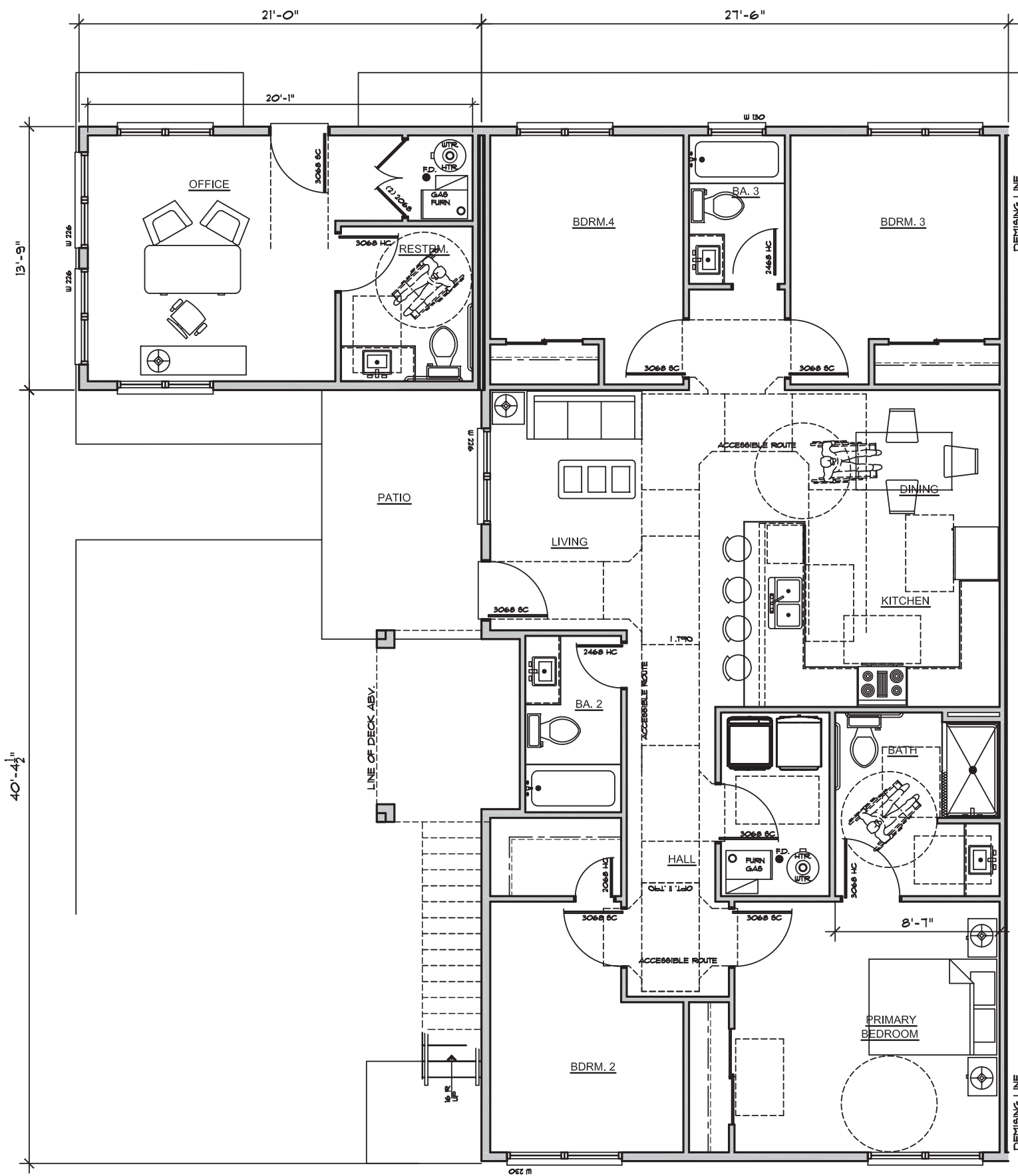
PLAN 'B'

PLAN 'A'

PLAN 'C' - MAIN LEVEL
 PLAN 'D' - 2nd / 3rd LEVEL

ELMWOOD NORTH TOWNHOMES
OVERALL BUILDING MAIN LEVEL FLOOR PLAN
 1/1 A1
 3/16" = 1'-0"

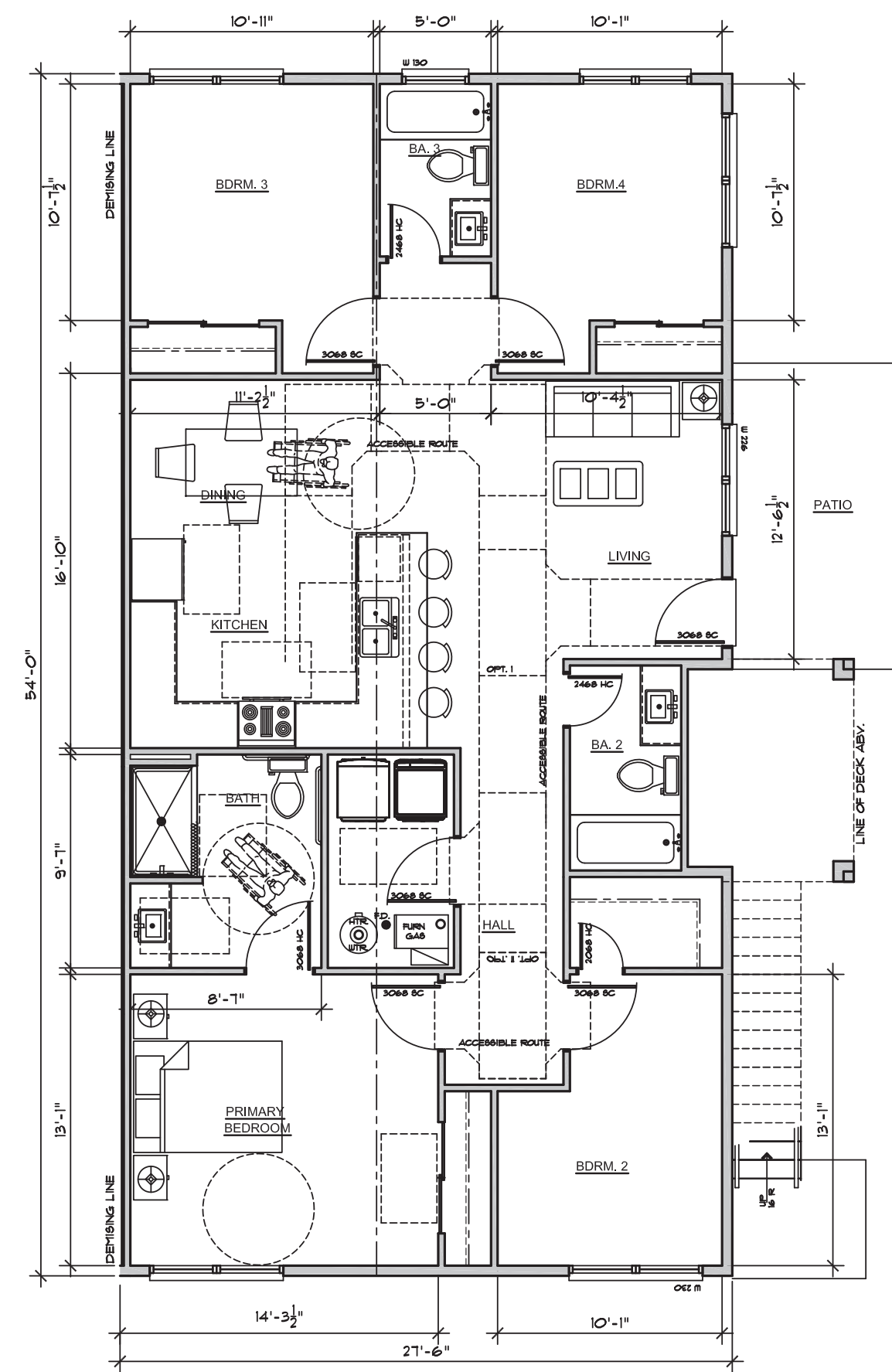
PRELIMINARY - NOT FOR CONSTRUCTION !!



2
A2
PLAN 'C' H/C ACCESSIBLE END UNIT -
FIRST FLOOR PLAN w/ SALES OFFICE

18 JUN 2025

TOTAL FOOTPRINT - UNIT 'C' 1,467.3 S.F.
TOTAL FOOTPRINT - SALES OFFICE 288.8 S.F.



1
A2
PLAN 'C' H/C ACCESSIBLE END UNIT -
FIRST FLOOR PLAN

TOTAL FOOTPRINT 1,467.3 S.F.

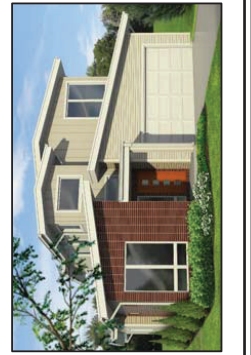
PRELIMINARY - NOT FOR CONSTRUCTION !!

DATE:	28 NOV 2023
REVISIONS:	
PRELIM.	15 JAN 2024
PRELIM.	19 JAN 2024
REV. PRELIM.	13 DEC 2024
REV. PRELIM.	26 JUN 2025
FILE NO.:	23027 A2
PROJECT NO.:	23027

PROJECT: MULTI-FAMILY TOWNHOMES
8000 N. PECOS BOULEVARD
ADAMS COUNTY, COLORADO

SHEET TITLE: PLAN 'C' - ENLARGED
FIRST FLOOR PLAN

ARCHITECT:
LAWRENCE ARCHITECTURE, INC.



6774 Center Street, Suite 301
Highlands Ranch, CO 80129
P: 303.794.4879
F: 303.794.4879
larch.com
lawarch.com

SEAL:

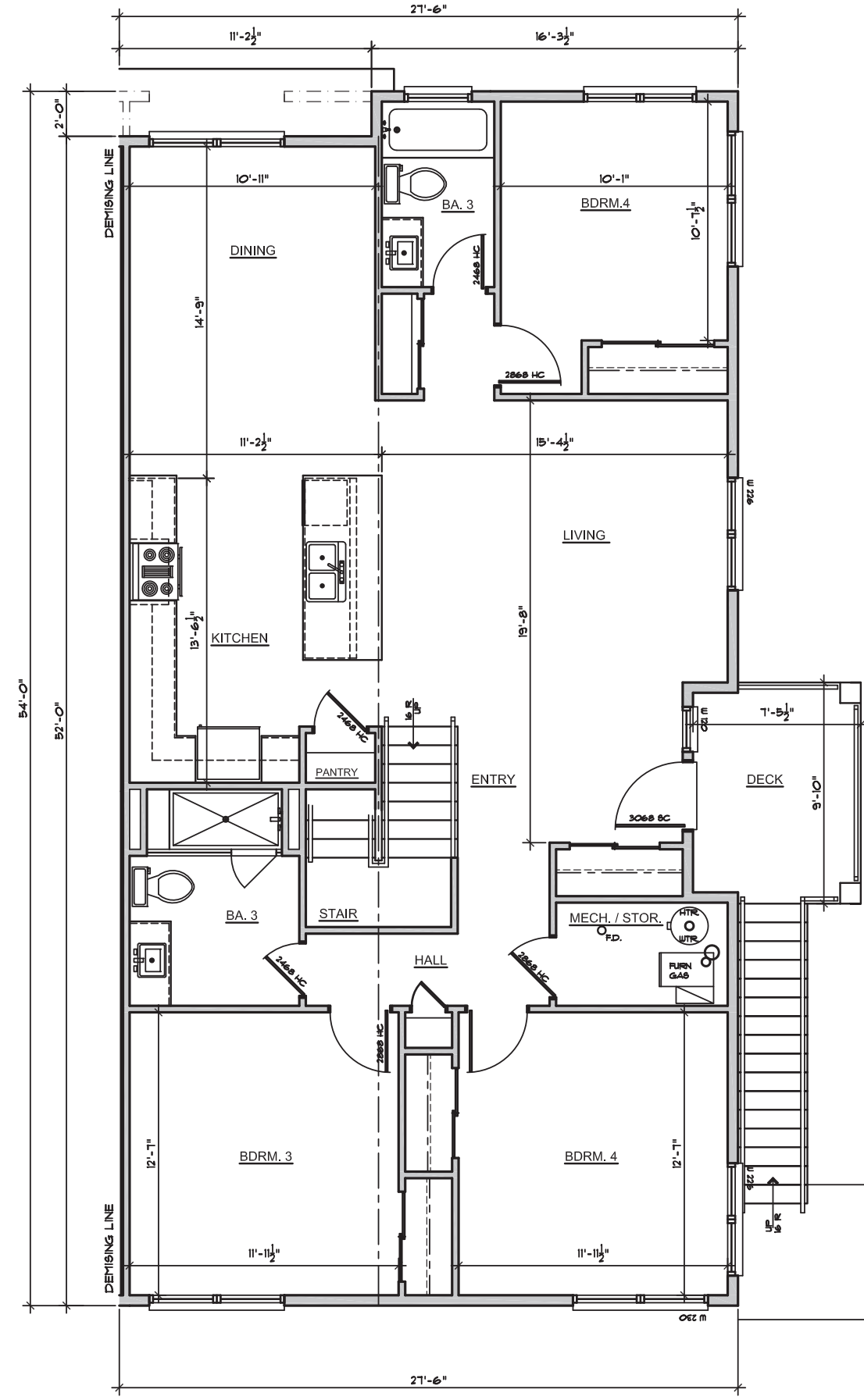
DEVELOPER / BUILDER:

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ELMWOOD NORTH

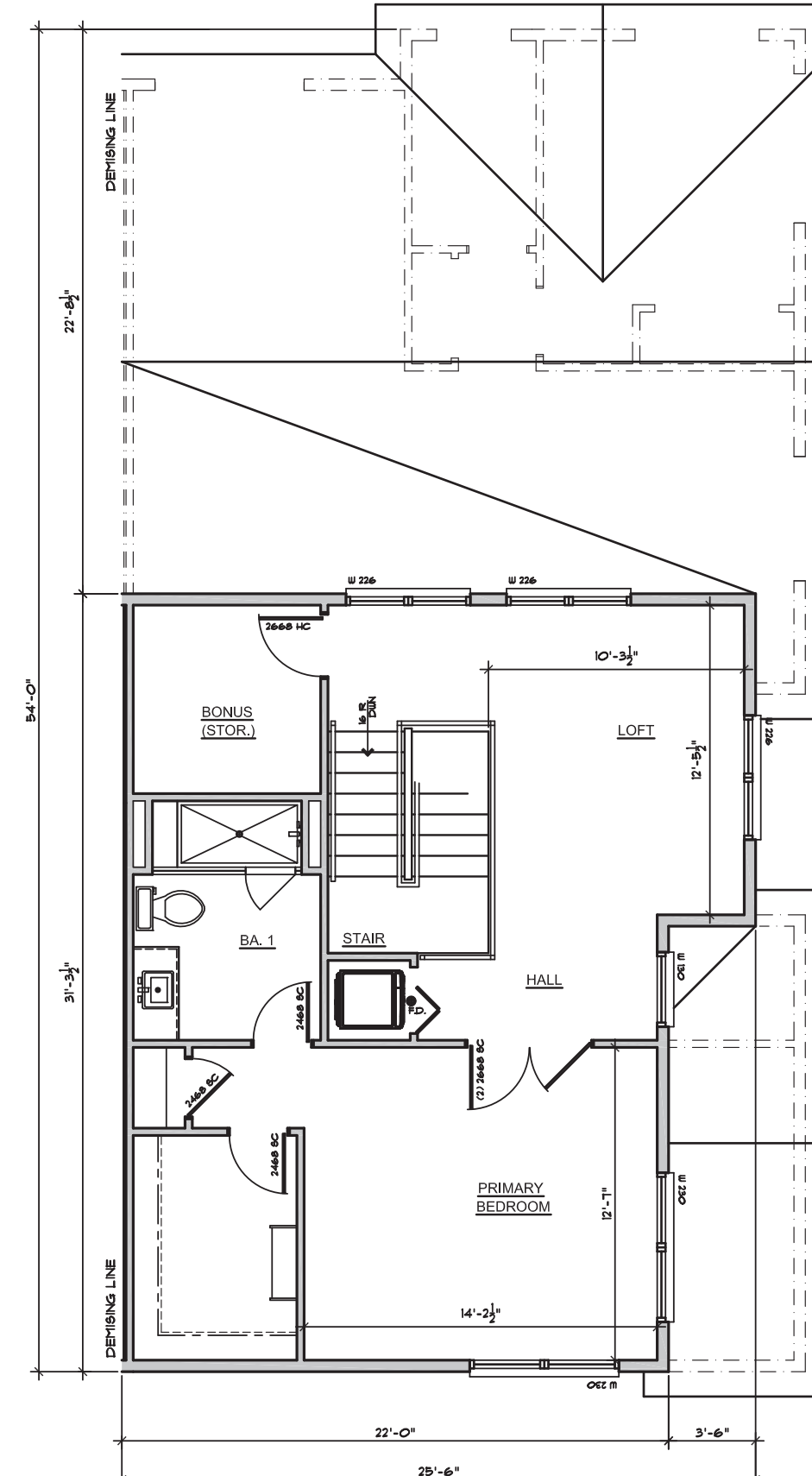
SHEET NO.: 19 of 21



2
A3
1/4" = 1'-0"

PLAN 'D' STANDARD END UNIT -
SECOND LEVEL FLOOR PLAN

TOTAL HABITABLE AREA (2nd & 3rd)	2,064.8 S.F.
HABITABLE AREA	1,444.8 S.F.
STAIR	57.6 S.F.
TOTAL FOOTPRINT	1,387.2 S.F.



1
A3
1/4" = 1'-0"

PLAN 'D' STANDARD END UNIT -
THIRD LEVEL FLOOR PLAN

HABITABLE AREA	735.2 S.F.
STAIR	57.6 S.F.
TOTAL FOOTPRINT	677.6 S.F.

PRELIMINARY - NOT FOR CONSTRUCTION !!

DATE:	28 NOV 2023
REVISIONS:	15 JAN 2024
PRELIM.	19 JAN 2024
REV. PRELIM.	13 DEC 2024
REV. PRELIM.	26 JUN 2025

PROJECT: MULTI-FAMILY TOWNHOMES
8000 N. PECOS BOULEVARD
ADAMS COUNTY, COLORADO

FILE NO.:	A3
PROJECT NO.:	23027

ELMWOOD NORTH

SHEET NO.: 20 of 21

ARCHITECT:

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 www.lawrencearch.com
 lawrencearch.com



PROJECT:

MULTI-FAMILY TOWNHOMES
 8000 N. PECOS BOULEVARD
 ADAMS COUNTY, COLORADO

SHEET TITLE:

BUILDING ELEVATIONS

PRELIMINARY - NOT FOR CONSTRUCTION !!

DATE:	28 NOV 2023	FILE NO.:	23027_A4
REVISIONS:	15 JAN 2024	PROJECT NO.:	23027
PRELIM.	19 JAN 2024		
REV. PRELIM.	13 DEC 2024		
REV. PRELIM.	26 JUN 2025		



PLAN 'C' - MAIN LEVEL
 PLAN 'D' - 2nd / 3rd LEVEL

PLAN 'A'

PLAN 'B'

PLAN 'A'

PLAN 'A'

PLAN 'B'

PLAN 'A'

PLAN 'C' - MAIN LEVEL
 PLAN 'D' - 2nd / 3rd LEVEL

ELMWOOD NORTH TOWNHOMES
 OVERALL BUILDING FRONT ELEVATION

1
 A4
 3/16" = 1'-0"



PLAN 'C' - MAIN LEVEL
 PLAN 'D' - 2nd / 3rd LEVEL

ELMWOOD NORTH TOWNHOMES
 ENLARGED END UNIT BUILDING ELEVATION

4
 A4
 3/16" = 1'-0"



PLAN 'C' - MAIN LEVEL
 PLAN 'D' - 2nd / 3rd LEVEL

ELMWOOD NORTH TOWNHOMES
 ENLARGED END UNIT BUILDING ELEVATION

3
 A4
 3/16" = 1'-0"



PLAN 'C' - MAIN LEVEL
 PLAN 'D' - 2nd / 3rd LEVEL

ELMWOOD NORTH TOWNHOMES
 OVERALL BUILDING SIDE ELEVATION

2
 A4
 3/16" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION !!



Strategic Land Solutions, Inc.

Civil Engineering • Land Planning • Entitlements

Friday – August 29, 2025

Sent Via: 1st Class FedEx Courier Hand Deliver
 Facsimile to: **UPLOAD: E PERMIT CENTER**

ADAMS COUNTY

EPermit
4430 S. Adams County Pkwy.
1st floor, Suite W2000B
Brighton, CO 80601-8218

Attention: Mr. Nick Eagleson

Dear Permit Counter,

On behalf of Elmwood North, LLC., we are pleased to resubmit the Sherrelwood Townhomes Development Plans. We have addressed your team's comments as follows:

PLANNING

1. The signature blocks have been updated.
2. The active landscape information has been added to the landscape plans.
3. The area between this site and the park is a 4:1 slope, so access is through the single family development to the south. An accessible path is not available directly from this development.

Please feel free to call me (720-384-7661) if you have any questions about the attached information.

Sincerely,

STRATEGIC LAND SOLUTIONS, INC.

Robert J. Palmer, PE (CO, NM, AZ, WY, MT)
President for SLS, Inc. A Colorado Corporation

Attachments: As noted above.

cc: Mr. Joe Delzotto, Elmwood North, LLC. via: jad@delwest.com

Comment Response

ELMWOOD NORTH TOWNHOMES

8000 N. Pecos Street
Unincorporated Adams County (Denver), CO

SLS JN: 24-0024-01

MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
ALL WITHIN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 3

DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND BEING LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE, TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN A QUITCLAIM DEED RECORDED AT RECEPTION NO. 2021000058939, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N89°30'59"E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE **POINT OF BEGINNING**;

THENCE N00°14'36"W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.00 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED AT RECEPTION NUMBER 2021000058939;

THENCE S82°4'31"E, ALONG SAID NORTH LINE, A DISTANCE OF 8.26 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

1. S76°46'27"E, A DISTANCE OF 178.46 FEET;
2. S21°38'30"E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED AT RECEPTION NUMBER 2021000058939 AND SAID SHERRELWOOD VILLAGE, A DISTANCE OF 459.50 FEET;

THENCE S12°19'50"W, CONTINUING ALONG SAID EAST LINE OF SHERRELWOOD VILLAGE, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY (R.O.W.) LINE OF WEST 79TH WAY AS DEDICATED BY SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG SAID NORTH R.O.W. LINE, THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N85°25'28"W, A DISTANCE OF 6.01 FEET;
2. N89°57'38" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 42°01'36" AND AN ARC LENGTH OF 59.69 FEET, THE CHORD OF WHICH BEARS S38°37'14"W, A DISTANCE OF 27.25 FEET TO THE NORTHEAST CORNER OF LOT 8, BLOCK 2 OF SAID SHERRELWOOD VILLAGE;

THENCE N89°57'13"W, ALONG THE NORTH LINE OF SAID LOT 8, A DISTANCE OF 91.81 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N00°02'36"E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NUMBER 2021000058939;

THENCE S89°30'59"W, ALONG A LINE BEING PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE N00°02'36"E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N89°30'59"E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N00°02'36"E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINING (143,379 SQUARE FEET) 3.29152 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO BLOCKS, LOTS, TRACTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF ELMWOOD NORTH. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THIS PLAN; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. ALL PRIVATE STREETS (OSAGE COURT) ARE PRIVATELY OWNED AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

EXECUTED THIS _____ DAY OF _____, 20_____.

OWNER: ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____
JOSEPH A. DELZOTTO, MANAGER

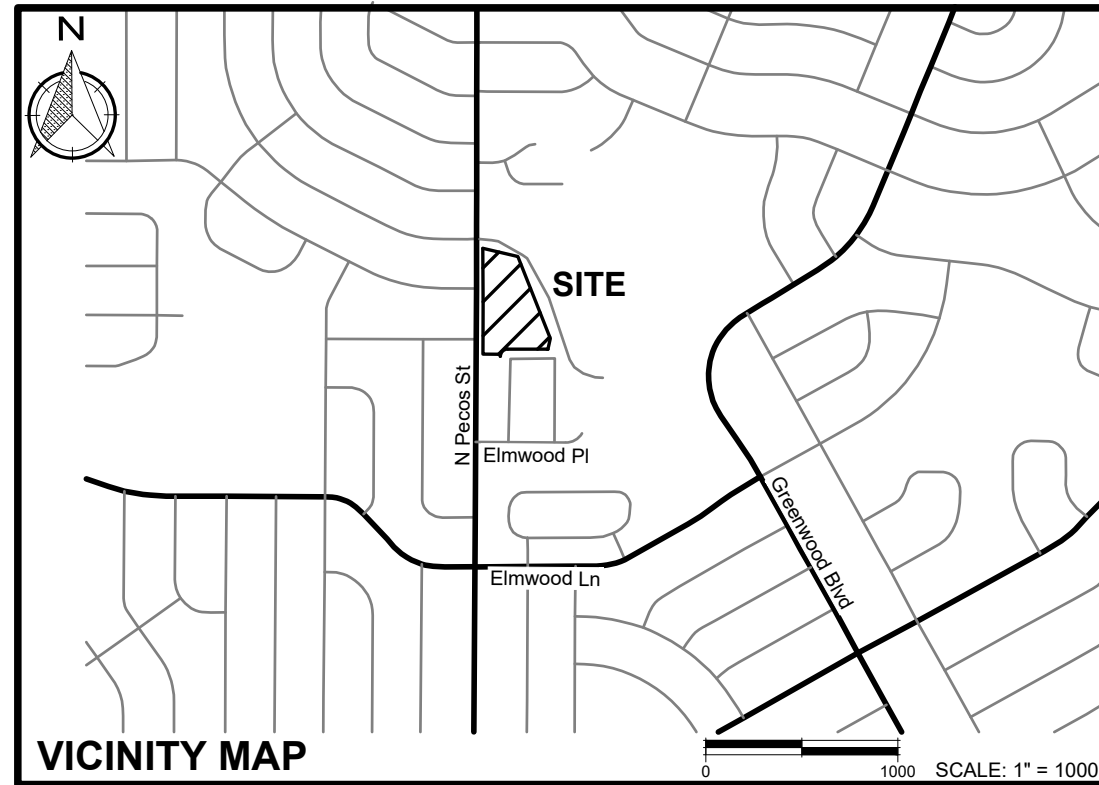
NOTARY PUBLIC:
STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20_____ BY JOSEPH A. DELZOTTO AS MANAGER FOR ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

AND
EXECUTED THIS _____ DAY OF _____, 20_____.



SHEET INDEX	
SHEET	TITLE
1 OF 3	COVER SHEET
2 OF 3	PLAT AND EASEMENT VACATION MAP
3 OF 3	PLAT MAP

LAND USE TABLE			
PARCEL	AREA	OWNERSHIP	MAINTENANCE
TRACT A	23,564 SQ.FT. 0.54095 AC.	CURRENT OWNER OR HOA	CURRENT OWNER OR HOA
LOT 1	34,399 SQ.FT. 0.78968 AC.		
LOT 2	81,257 SQ.FT. 1.86540 AC.		
ROW DED.	4,160 SQ.FT. 0.09549 AC.		
TOTAL GROSS	143,379 SQ.FT. 3.29152 AC.		

NOTES AND RESTRICTIONS:

1. THIS PLAT WAS BASED ON TITLE COMMITMENT NUMBER RND70782714-6 PREPARED BY LAND TITLE GUARANTEE COMPANY AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF JUNE 24, 2025 AT 5:00 P.M., AND DOES NOT CONSTITUTE A TITLE SEARCH BY THIS SURVEYOR FOR OTHER EASEMENTS AND/OR EXCEPTIONS OF RECORD.
2. BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING AN ASSUMED BEARING OF N89°30'59"E AND BOUNDED BY A FOUND REBAR WITH ILLEGIBLE 3.25" ALUMINUM CAP 1.25" BELOW GRADE IN RANGE BOX WITH NO LID BEING THE NORTH 1/4 CORNER OF SAID SECTION 33 AND A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "ERNEST KNIGHT LS 7276 1998 ADAMS COUNTY" 0.3" IN RANGE BOX WITH NO LID AT THE NORTHEAST CORNER OF SAID SECTION 33.
3. BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.
4. ALL LINEAL DISTANCES ON THIS SURVEY ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
5. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS, DRIVES AND ALLEYS.
6. ALL INTERNAL ROADS AND DRAINAGE FACILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL PUD, STREET CONSTRUCTION PLANS, PAVEMENT DESIGN, GRADING & EROSION CONTROL PLAN, AND A FINAL DRAINAGE PLAN SUBMITTED TO AND APPROVED BY ADAMS COUNTY. PRIOR TO ISSUANCE OF BUILDING PERMITS FOR HOMES WITHIN THE SUBDIVISION, ALL COUNTY IMPROVEMENTS REQUIRED IN ACCORDANCE WITH APPROVED PLANS BY ADAMS COUNTY, SHALL HAVE RECEIVED PRELIMINARY ACCEPTANCE OF CONSTRUCTION BY THE DEPARTMENT OF PUBLIC WORKS.
7. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
8. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
9. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.
10. 20-FOOT UTILITY EASEMENT AS DEPICTED BUT NOT RECORDED IN A QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924 IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, SAID QUIT CLAIM DEED ONLY TRANSFERS PROPERTY DESCRIBED AS PARCEL "D" TO THE EASTERLY PROPERTY OWNER. THIS EASEMENT IS ALSO DEPICTED ON THE RECORDED PLATS OF KALCEVIC SUBDIVISION AMENDED (REC. NO. B1041161); AND SHERRELWOOD VILLAGE (REC. NO. 2018000075940) BUT THESE PLATS DID NOT DEDICATE SAID EASEMENT. THE FOREMENTIONED SHERRELWOOD PLATS LISTS THAT THIS EASEMENT WAS RECORDED IN BOOK 3251 AT PAGE 927 BUT SAID DOCUMENT IS A PORTION OF THE FOREMENTIONED QUIT CLAIM DEED WHICH DID NOT FORMALLY DEDICATE SAID EASEMENT.
11. WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

SURVEYOR'S CERTIFICATE:

I, CHARLES N. BECKSTROM, A REGISTERED SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION ON THE 9TH DAY OF JANUARY, 2024, AND THAT THE ACCOMPANYING MAP ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION.

I FURTHER CERTIFY THAT I, CHARLES N. BECKSTROM, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, CERTIFY FOR AND ON BEHALF OF ENGINEERING SERVICE COMPANY THAT THE SURVEY SHOWN HEREON WAS PERFORMED BY ME OR UNDER MY RESPONSIBLE CHARGE, THAT IT IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF, THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE, THAT IT IS NOT A QUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED AND IS, TO THE BEST OF MY KNOWLEDGE, ACCURATE AND COMPLETE.

CHARLES N. BECKSTROM
PROFESSIONAL L.S. NO. 33202
FOR AND ON BEHALF OF
ENGINEERING SERVICE COMPANY

PLANNING COMMISSION APPROVAL:

REVIEWED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ A.D. 20_____.

CHAIRMAN _____

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____ A.D. 20_____.

CHAIRMAN _____

ADAMS COUNTY ATTORNEY'S OFFICE:

APPROVED AS TO FORM _____

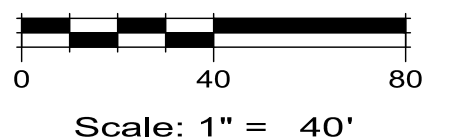
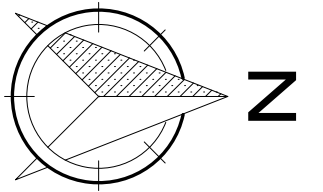
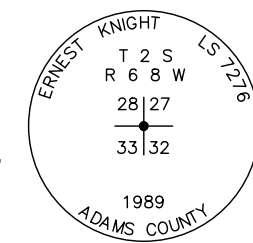
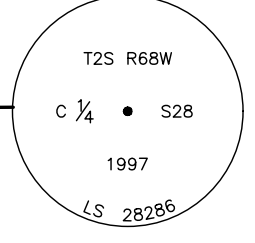
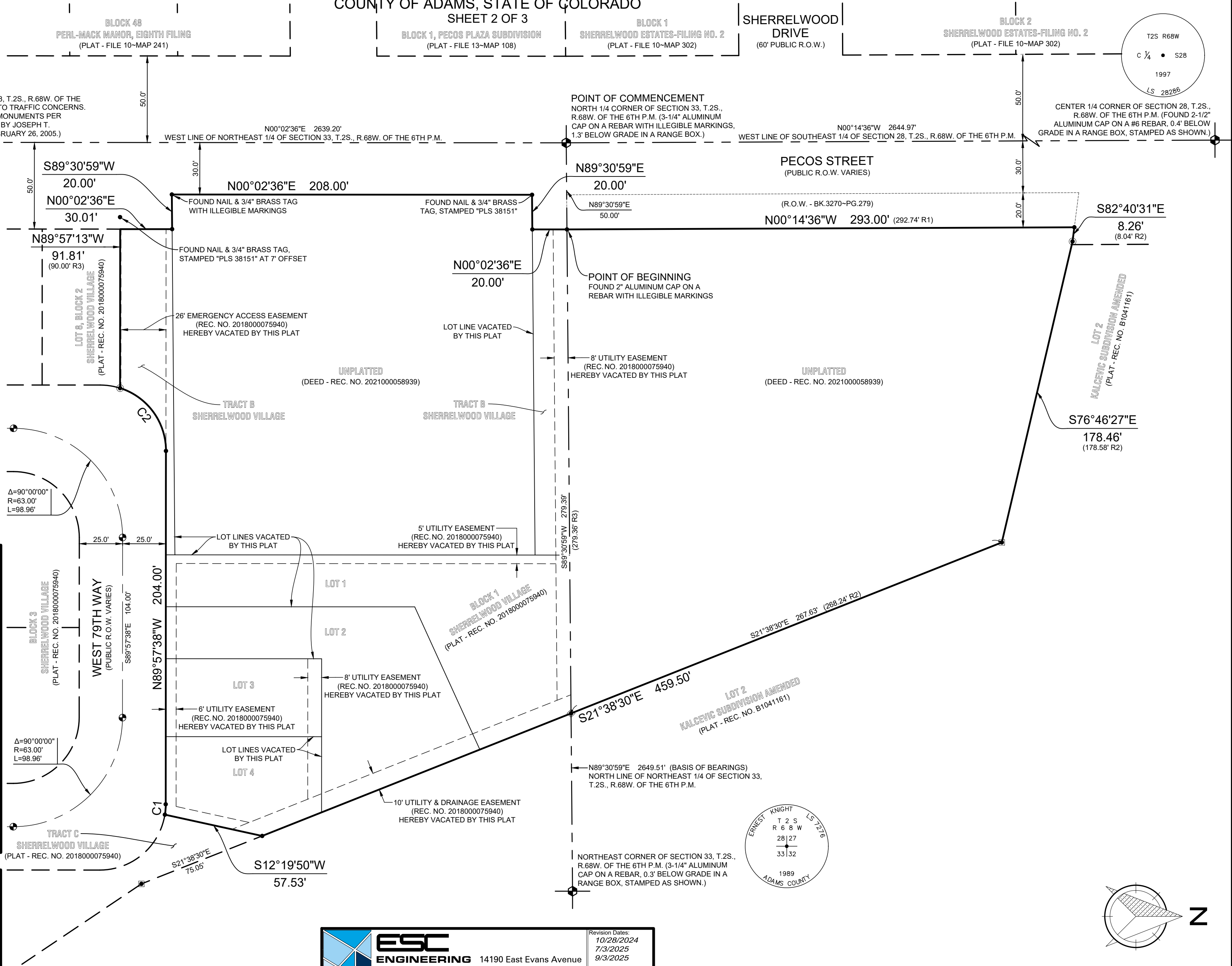
<p>ESC ENGINEERING SERVICE COMPANY</p> <p><i>Creative Solutions Since 1954</i> CIVIL ENGINEERS LAND SURVEYORS engineeringsserviceco.com</p>	14190 East Evans Avenue Aurora, Colorado 80014 P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659	Revision Dates: 10/28/2024 7/3/2025 9/3/2025
	Survey No.: 24-006-P Project No.: 814.039 Date: 6/7/2024 Field Book No.: 951 Sheet No.: 1 OF 3	

MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
ALL WITHIN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 3



LEGEND	
	PLAT BOUNDARY LINE
	ADJACENT LOT/PARCEL LINES
	SECTION LINE
	LOT LINE HEREBY VACATED
	EXISTING EASEMENT LINE
	R.O.W.
	BK. PG.
	REC. NO.
	ALIQUOT CORNER
	FOUND 1-1/2" ALUMINUM CAP IN A RANGE BOX, STAMPED "RANGE POINT PLS 38151"
	SET 5/8"x24" REBAR & 1-1/4" YELLOW PLASTIC CAP STAMPED "ESC LS 33202"
	FOUND 1-1/4" YELLOW PLASTIC CAP ON A REBAR, STAMPED "PLS 38151" UNLESS NOTED OTHERWISE
	FOUND 2" ALUMINUM CAP ON A REBAR, STAMPED "CITY OF THORNTON, PLS 20155"
	FOUND 1" BROKEN YELLOW PLASTIC CAP ON A REBAR, STAMPED "M. SCHEAR, LS 18475"

RECORD REFERENCE	
(XX.XX' R1)	PER THE DEED FOR PECOS STREET R.O.W. (BK.3270-PG.279) IF DIFFERENT FROM AS-MEASURED
(XX.XX' R2)	PER A QUITCLAIM DEED (REC. NO. 2021000058939) IF DIFFERENT FROM AS-MEASURED
(XX.XX' R3)	PER THE PLAT OF SHERRELWOOD VILLAGE (REC. NO. 2018000075940) IF DIFFERENT FROM AS-MEASURED
	ALL DIMENSIONS SHOWN WITH NO PARENTHESIS ARE AS-MEASURED DIMENSION

<p>ESC ENGINEERING SERVICE COMPANY</p> <p><i>Creative Solutions Since 1954</i> CIVIL ENGINEERS & LAND SURVEYORS engineeringserviceco.com</p>	14190 East Evans Avenue Aurora, Colorado 80014 P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659	Revision Dates: 10/28/2024 7/3/2025 9/3/2025
	Survey No.: 24-006-P Project No.: 814.039 Date: 6/7/2024 Field Book No.: 951 Sheet No.: 2 OF 3	

File Name: N:\Projects\Strategic Land Solutions - Inco\AdamsCo-8000 N Pecos St\CAD\Plat\Primary\8000 N Pecos St AdamsCo - Prel\Plat.dwg Plot Date: 9/3/2025 Company: ESC

MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
ALL WITHIN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 3 OF 3

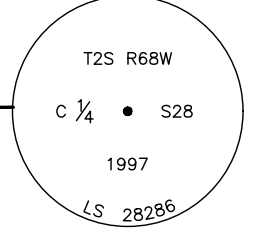
BLOCK 4B
PERL-MACK MANOR, EIGHTH FILING
(PLAT - FILE 10-MAP 241)

BLOCK 1, PECOS PLAZA SUBDIVISION
(PLAT - FILE 13-MAP 108)

BLOCK 1
SHERRELWOOD ESTATES-FILING NO. 2
(PLAT - FILE 10-MAP 302)

SHERRELWOOD
DRIVE
(60' PUBLIC R.O.W.)

BLOCK 2
SHERRELWOOD ESTATES-FILING NO. 2
(PLAT - FILE 10-MAP 302)



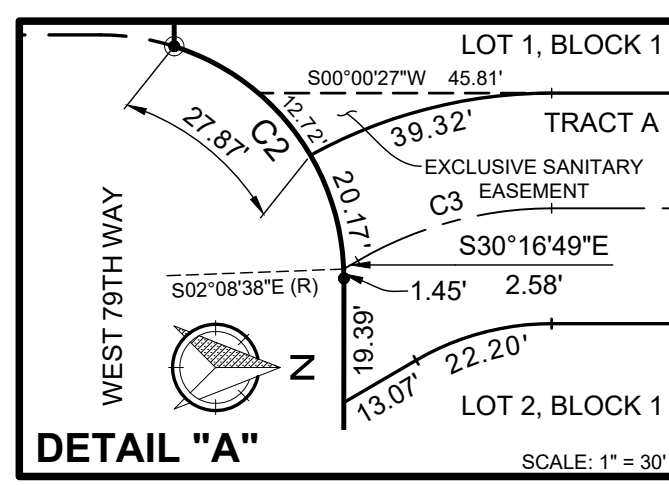
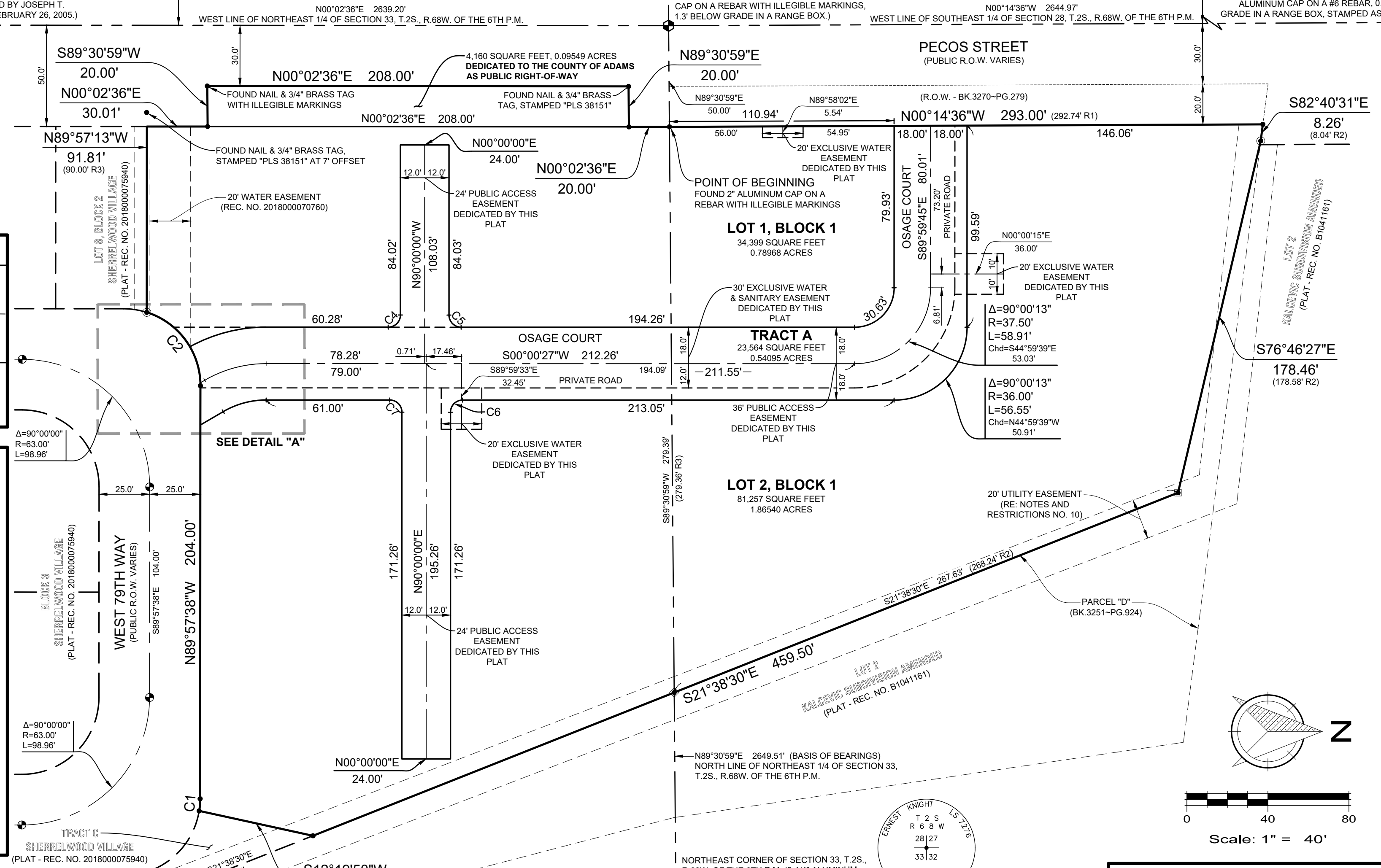
CENTER 1/4 CORNER OF SECTION 33, T.2S., R.68W. OF THE 6TH P.M. (UNABLE TO LOCATE DUE TO TRAFFIC CONCERNS. LOCATION BASED ON ACCESSORY MONUMENTS PER MONUMENT RECORDED PREPARED BY JOSEPH T. GUNDERSON, PLS 30826 DATED FEBRUARY 26, 2005.)

FOUND NAIL WITH 3/4" BRASS TAG SET IN CONCRETE, STAMPED "PLS 11434"

FOUND 3-1/4" ALUMINUM CAP SET IN CONCRETE, STAMPED "COLO DEPT OF TRANSPORTATION, REF 1, PLS 30826"

POINT OF COMMENCEMENT
NORTH 1/4 CORNER OF SECTION 33, T.2S., R.68W. OF THE 6TH P.M. (3-1/4" ALUMINUM CAP ON A REBAR WITH ILLEGIBLE MARKINGS, 1.3' BELOW GRADE IN A RANGE BOX.)

CENTER 1/4 CORNER OF SECTION 28, T.2S., R.68W. OF THE 6TH P.M. (FOUND 2-1/2" ALUMINUM CAP ON A #6 REBAR, 0.4' BELOW GRADE IN A RANGE BOX, STAMPED AS SHOWN.)



- ### LEGEND
- PLAT BOUNDARY LINE
 - ADJACENT LOT/PARCEL LINES
 - SECTION LINE
 - LOT LINE
 - EXISTING EASEMENT LINE
 - EXISTING EASEMENT CENTERLINE
 - NEW EASEMENT LINE
 - NEW EASEMENT & R.O.W. CENTERLINE
- R.O.W. RIGHT-OF-WAY
BK. PG. BOOK AND PAGE
REC. NO. RECEPTION NUMBER
- ALIQUOT CORNER
 - FOUND 1-1/2" ALUMINUM CAP IN A RANGE BOX, STAMPED "RANGE POINT PLS 38151"
 - SET 5/8"x24" REBAR & 1-1/4" YELLOW PLASTIC CAP STAMPED "ESC LS 33202"
 - FOUND 1-1/4" YELLOW PLASTIC CAP ON A REBAR, STAMPED "PLS 38151" UNLESS NOTED OTHERWISE
 - FOUND 2" ALUMINUM CAP ON A REBAR, STAMPED "CITY OF THORNTON, PLS 20155"
 - FOUND 1" BROKEN YELLOW PLASTIC CAP ON A REBAR, STAMPED "M. SCHEAR, LS 18475"

- ### RECORD REFERENCE
- (XX.XX' R1) PER THE DEED FOR PECOS STREET R.O.W. (BK.3270-PG.279) IF DIFFERENT FROM AS-MEASURED
 - (XX.XX' R2) PER A QUITCLAIM DEED (REC. NO. 2021000058939) IF DIFFERENT FROM AS-MEASURED
 - (XX.XX' R3) PER THE PLAT OF SHERRELWOOD VILLAGE (REC. NO. 2018000075940) IF DIFFERENT FROM AS-MEASURED
- ALL DIMENSIONS SHOWN WITH NO PARENTHESIS ARE AS-MEASURED DIMENSION

ESC
ENGINEERING
SERVICE
COMPANY

Creative Solutions Since 1954
CIVIL ENGINEERS & LAND SURVEYORS
engineeringserviceco.com

14190 East Evans Avenue
Aurora, Colorado 80014

P 303.337.1393
F 303.337.7481
T/F 1.877.273.0659

Revision Dates:
10/28/2024
7/3/2025
9/3/2025

Survey No.: 24-006-P

Project No.: 814.039

Date: 6/7/2024

Field Book No.: 951

Sheet No.: 3 OF 3

CURVE DATA TABLE					
COURSE	DELTA	RADIUS	LENGTH	Chd BEARING	Chd LENGTH
C1	9°04'20"	38.00'	6.02'	N85°25'28"W	6.01'
C2	42°01'36"	38.00'	27.87'	S38°37'14"W	27.25'
C3	30°17'17"	60.00'	31.72'	S15°08'11"E	31.35'
C4	90°00'27"	6.00'	9.43'	N44°59'46"W	8.49'
C5	89°59'33"	6.00'	9.42'	N45°00'14"E	8.48'
C6	90°00'27"	6.00'	9.43'	N44°59'46"W	8.49'
C7	89°59'33"	6.00'	9.42'	N45°00'14"E	8.48'

File Name: N:\Projects\Strategic Land Solutions - Inco\AdamsCo-8000 N Pecos St\CAD\Plat\Primary\8000 N Pecos St AdamsCo - Prel\Plat.dwg Plot Date: 9/3/2025 Company: ESC

MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
ALL WITHIN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 3

DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS THAT ELMWOOD NORTH, LLC, OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND, AS DESCRIBED IN A QUITCLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924, COUNTY CLERK AND RECORDER'S OFFICE, LYNN COUNTY OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N89°30'59"E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N00°14'36"W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.00 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED AT RECEPTION NUMBER 2021000058939;
THENCE S82°4'31"E, ALONG SAID NORTH LINE, A DISTANCE OF 8.26 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

- S76°46'27"E, A DISTANCE OF 178.46 FEET;
- S21°38'30"E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED AT RECEPTION NUMBER 2021000058939 AND SAID SHERRELWOOD VILLAGE, A DISTANCE OF 459.50 FEET;

THENCE S12°19'50"W, CONTINUING ALONG SAID EAST LINE OF SHERRELWOOD VILLAGE, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY (R.O.W.) LINE OF WEST 79TH WAY AS DEDICATED BY SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG SAID NORTH R.O.W. LINE, THE FOLLOWING THREE (3) COURSES:

- ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N85°25'28"W, A DISTANCE OF 6.01 FEET;
- N89°57'38" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
- ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 42°01'36" AND AN ARC LENGTH OF 59.69 FEET, THE CHORD OF WHICH BEARS S38°37'14"W, A DISTANCE OF 27.25 FEET TO THE NORTHEAST CORNER OF LOT 8, BLOCK 2 OF SAID SHERRELWOOD VILLAGE;

THENCE N89°57'13"W, ALONG THE NORTH LINE OF SAID LOT 8, A DISTANCE OF 91.81 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N00°02'36"E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NUMBER 2021000058939;

THENCE S89°30'59"W, ALONG A LINE BEING PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE N00°02'36"E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N89°30'59"E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N00°02'36"E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING (143,379 SQUARE FEET) 3.29152 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO BLOCKS, LOTS, TRACTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF ELMWOOD NORTH. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THIS PLAN; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. ALL PRIVATE STREETS (OSAGE COURT) ARE PRIVATELY OWNED AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

EXECUTED THIS _____ DAY OF _____, 20____.

OWNER: ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: JOSEPH A. DELZOTTO

WHAT IS HIS TITLE

Acknowledged, the title has been added.

NOTARY PUBLIC:
STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY JOSEPH A. DELZOTTO AS / FOR ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NEED TO PROVIDE HIS TITLE

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

AND

EXECUTED THIS _____ DAY OF _____, 20____.

Delwest does not own any land within this subdivision. There was an error with the Adams County Assessor which has been rectified.

The Unplatted land Reception Number listed in the preamble is the 2 Unplatted parcels

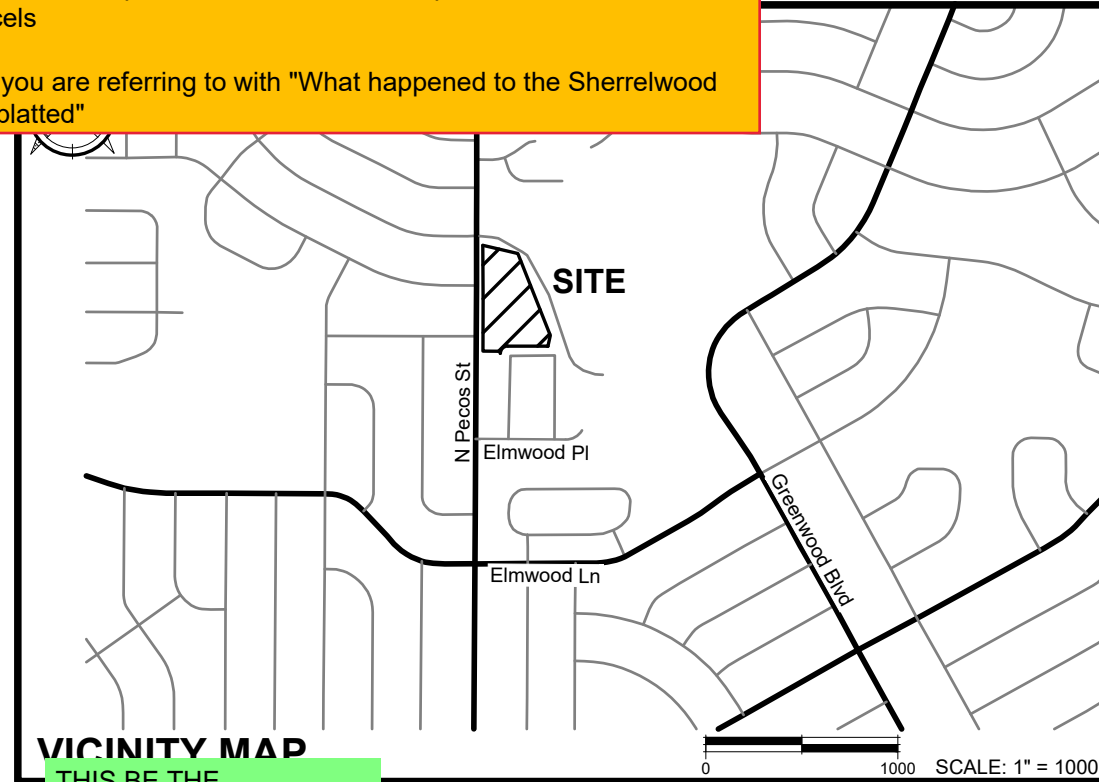
Not sure what you are referring to with "What happened to the Sherrelwood lots that were platted"

Noted

THIS MUST BE CORRECTED AND UPDATED WITH THE NOTE REVISED

NOTES AND RESTRICTIONS:

- THIS PLAT WAS BASED ON TITLE COMMITMENT NUMBER _____ AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AS OF 5:00 P.M., AND DOES NOT CONSTITUTE A TITLE SEARCH BY THIS SURVEYOR.
- BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING AN ASSUMED BEARING OF N89°30'59"E AND BOUNDED BY A FOUND REBAR WITH ILLEGIBLE 3.25" ALUMINUM CAP 1.25" BELOW GRADE IN RANGE BOX WITH NO LID BEING THE NORTH 1/4 CORNER OF SAID SECTION 33 AND A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "ERNEST KNIGHT LS 7276 1998 ADAMS COUNTY" 0.3' IN RANGE BOX WITH NO LID AT THE NORTHEAST CORNER OF SAID SECTION 33.
- BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.
- ALL LINEAL DISTANCES ON THIS SURVEY ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/9937 METERS.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS, DRIVES AND ALLEYS.
- ALL INTERNAL ROADS AND DRAINAGE FACILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL PUD, STREET CONSTRUCTION PLANS, PAVEMENT DESIGN, GRADING & EROSION CONTROL PLAN, AND A FINAL DRAINAGE PLAN SUBMITTED TO AND APPROVED BY ADAMS COUNTY. PRIOR TO ISSUANCE OF BUILDING PERMITS FOR HOMES WITHIN THE SUBDIVISION, ALL COUNTY IMPROVEMENTS REQUIRED IN ACCORDANCE WITH APPROVED PLANS BY ADAMS COUNTY, SHALL HAVE RECEIVED PRELIMINARY ACCEPTANCE OF CONSTRUCTION BY THE DEPARTMENT OF PUBLIC WORKS.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.
- 20-FOOT UTILITY EASEMENT AS DEPICTED BUT NOT RECORDED IN A QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924 IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER. SAID QUIT CLAIM DEED ONLY TRANSFERS PROPERTY DESCRIBED AS PARCEL "D" TO THE EASTERLY PROPERTY OWNER. THIS EASEMENT IS ALSO DEPICTED ON THE RECORDED PLATS OF KALCEVIC SUBDIVISION AMENDED (REC. NO. B1041161); AND SHERRELWOOD VILLAGE (REC. NO. 2018000075940) BUT THESE PLATS DID NOT DEDICATE SAID EASEMENT. THE FOREMENTIONED SHERRELWOOD PLATS LISTS THAT THIS EASEMENT WAS RECORDED IN BOOK 3251 AT PAGE 927 BUT SAID DOCUMENT IS A PORTION OF THE FOREMENTIONED QUIT CLAIM DEED WHICH DID NOT FORMALLY DEDICATE SAID EASEMENT.



VICINITY MAP

THIS BE THE SOUTHEAST CORNER OF LOT 8, BLK 2

SHEET	TITLE
1 OF 3	COVER SHEET
	PLAT MAP
3 OF 3	PLAT AND EASEMENT VACATION MAP

SOUTH LINE

This is incorrect, what we are showing is accurate. North is pointing to the right of the page.

Acknowledged and added

LAND USE CHART	TRACT	SQ. FT./AC	OWNERSHIP	MAINTENANCE
LOT 1	SW FT./AC			
LOT 2	SQ. FT./AC			
ROW DEDICATION SQ. FT/AC				
TOTAL GROSS ACRES SHOULD EQUAL THE 3.29125 ACRES AS PROVIDED BY THE LEGAL				

SURVEYOR'S CERTIFICATE:

I, CHARLES N. BECKSTROM, A REGISTERED SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION ON THE 9TH DAY OF JANUARY, 2024, AND THAT THE ACCOMPANYING MAP ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION.

I FURTHER CERTIFY THAT I, CHARLES N. BECKSTROM, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, CERTIFY FOR AND ON BEHALF OF ENGINEERING SERVICE COMPANY THAT THE SURVEY SHOWN HEREON WAS PERFORMED BY ME OR UNDER MY RESPONSIBLE CHARGE, THAT IT IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF, THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE, THAT IT IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED AND IS, TO THE BEST OF MY KNOWLEDGE, ACCURATE AND COMPLETE.

CHARLES N. BECKSTROM
PROFESSIONAL L.S. NO. 33202
FOR AND ON BEHALF OF
ENGINEERING SERVICE COMPANY

PLANNING COMMISSION APPROVAL:

REVIEWED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ A.D. 20____.

CHAIRMAN _____

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____ A.D. 20____.

CHAIRMAN _____

ADAMS COUNTY ATTORNEY'S OFFICE:

APPROVED AS TO FORM _____

I thought the certificate or recording block are no longer needed as they stamp it electronically at the top left margin of the plat.

STILL NEED CLERK AND RECORDERS RECORDING BLOCK

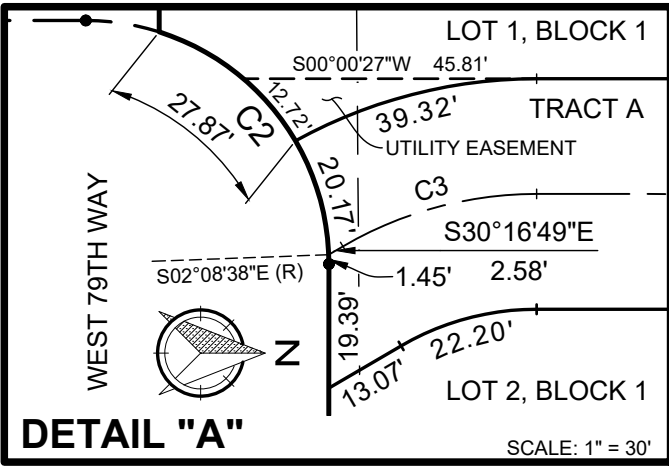
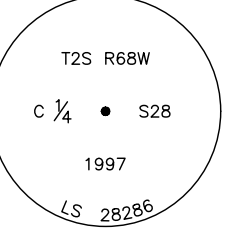
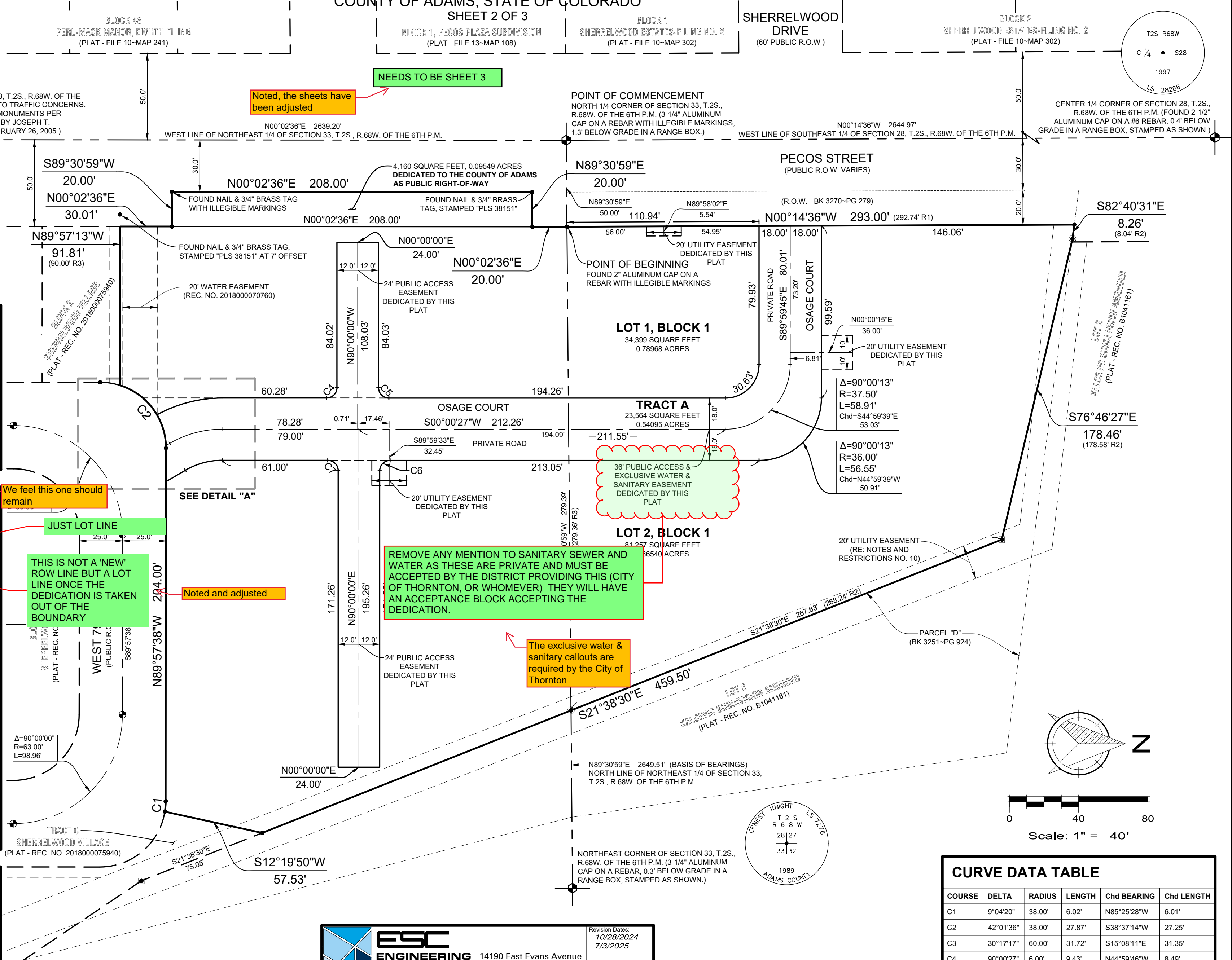
<p>ESC ENGINEERING SERVICE COMPANY Creative Solutions Since 1954 CIVIL ENGINEERS & LAND SURVEYORS engineeringserviceco.com</p>	14190 East Evans Avenue Aurora, Colorado 80014 P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659	Revision Dates: 10/28/2024 7/3/2025
	Survey No.: 24-006-P Project No.: 814.039 Date: 6/7/2024 Field Book No.: 951 Sheet No.: 1 OF 3	

MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
ALL WITHIN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 3



LEGEND

- PLAT BOUNDARY LINE
- ADJACENT LOT/PARCEL LINES
- SECTION LINE
- NEW LOT LINE
- NEW R.O.W. LINE
- EXISTING EASEMENT LINE
- EXISTING EASEMENT CENTERLINE
- NEW EASEMENT LINE
- NEW EASEMENT & R.O.W. CENTERLINE
- R.O.W. RIGHT-OF-WAY
- BK. PG. BOOK AND PAGE
- REC. NO. RECEPTION NUMBER
- ALIQUOT CORNER
- FOUND 1-1/2" ALUMINUM CAP IN A RANGE BOX, STAMPED "RANGE POINT PLS 38151"
- SET 5/8"x24" REBAR & 1-1/4" YELLOW PLASTIC CAP STAMPED "ESC LS 33202"
- FOUND 1-1/4" YELLOW PLASTIC CAP ON A REBAR, STAMPED "PLS 38151" UNLESS NOTED OTHERWISE
- FOUND 2" ALUMINUM CAP ON A REBAR, STAMPED "CITY OF THORNTON, PLS 20155"
- FOUND 1" BROKEN YELLOW PLASTIC CAP ON A REBAR, STAMPED "M. SCHEAR, LS 18475"

RECORD REFERENCE

(XX.XX' R1) PER THE DEED FOR PECOS STREET R.O.W. (BK.3270-PG.279) IF DIFFERENT FROM AS-MEASURED

(XX.XX' R2) PER A QUITCLAIM DEED (REC. NO. 2021000058939) IF DIFFERENT FROM AS-MEASURED

(XX.XX' R3) PER THE PLAT OF SHERRELWOOD VILLAGE (REC. NO. 2018000075940) IF DIFFERENT FROM AS-MEASURED

ALL DIMENSIONS SHOWN WITH NO PARENTHESIS ARE AS-MEASURED DIMENSION

CURVE DATA TABLE

COURSE	DELTA	RADIUS	LENGTH	Chd BEARING	Chd LENGTH
C1	9°04'20"	38.00'	6.02'	N85°25'28"W	6.01'
C2	42°01'36"	38.00'	27.87'	S38°37'14"W	27.25'
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C6	90°00'27"	6.00'	9.43'	N44°59'46"W	8.49'
C7	89°59'33"	6.00'	9.42'	N45°00'14"E	8.48'

ESC ENGINEERING SERVICE COMPANY
Creative Solutions Since 1954
CIVIL ENGINEERS & LAND SURVEYORS
engineeringserviceco.com

14190 East Evans Avenue
Aurora, Colorado 80014
P 303.337.1393
F 303.337.7481
T/F 1.877.273.0659

Revision Dates:
10/28/2024
7/3/2025

Survey No.: 24-006-P
Project No.: 814.039
Date: 6/7/2024
Field Book No.: 951
Sheet No.: 2 OF 3

File Name: N:\Projects\Strategic Land Solutions - Inc\AdamsCo-8000 N Pecos St\CAD\Plat\Primary\8000 N Pecos St AdamsCo - Prel\Plat.dwg Plot Date: 7/3/2025 Company: ESC

MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
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COUNTY OF ADAMS, STATE OF COLORADO

SHEET 3 OF 3

THIS SHOULD BE SHEET 2 SO THE
VACATION OF EASEMENTS AND LOT
LINES IS COMPLETED AND THE NEW
LOTS/BLOCKS ON SHEET 3

Noted, the sheets have
been adjusted

At no point did Delwest Development Corp. own
Tract B, Sherrelwood Village.

Tract B, Sherrelwood Village (Rec. No. 2018000075940) is owned by Elmwood North, LLC per a Quitclaim Deed recorded on May 13, 2021, at Rec. No. 2021000058940.

A small 7 square foot triangular piece of Lot 8, Block 1, Sherrelwood Village, adjacent to Tract B, was deeded from Shirley Dunomes (owner of Lot 8) to Delwest Development Corp. per a Quitclaim Deed recorded on January 28, 2022, at Rec. No. 2022000008812.

Delwest Development Corp. deeded it back to Shirley Dunomes per a Quitclaim Deed recorded on June 17, 2025, at Rec. No. 2025000035112.

Ultimately this was a County Assessor error which has been corrected.

ONLY PROVIDE ONE STATEMENT
CONCERNING THE ORIGINAL
SUBDIVISION INSTEAD OF LIST IT ALL
OF THE LOTS. CLUTTERS THE
INFORMATION. THE UNPLATTED
PORTIONS NEED TO REMAIN AS
SHOWN.

Acknowledged and
updated

THIS IS TRACT B BY THE RECORDED
PLAT AND IS OWNED BY DELWEST.
YOU CANNOT VACATE WHAT YOU DO
NOT OWN. IT IS A PART OF BLOCK 2,
LOT 8 aka TRACT B. OVERLAPPING
OWNERSHIP IS NOT ALLOWED AND
MUST BE CLEARED BY TITLE. DELWEST
MUST CONVEY THIS PARCEL (TRACT B
AKA LOT 8, BLOCK 2) TO ELMWOOD,
THE TITLE UPDATED AND CITATION
MADE.

LOT LINE VACATED BY
THIS PLAT LOT 8,
BLOCK 2

THIS IS TRACT D.
PROVIDE CORRECT
REFERENCES TO THE
RECORDED PLAT
BEING CITED.

PROVIDE A LINE LEGEND SO YOU DON'T
HAVE TO THUMB THROUGH THE PAGES

Acknowledged and
added

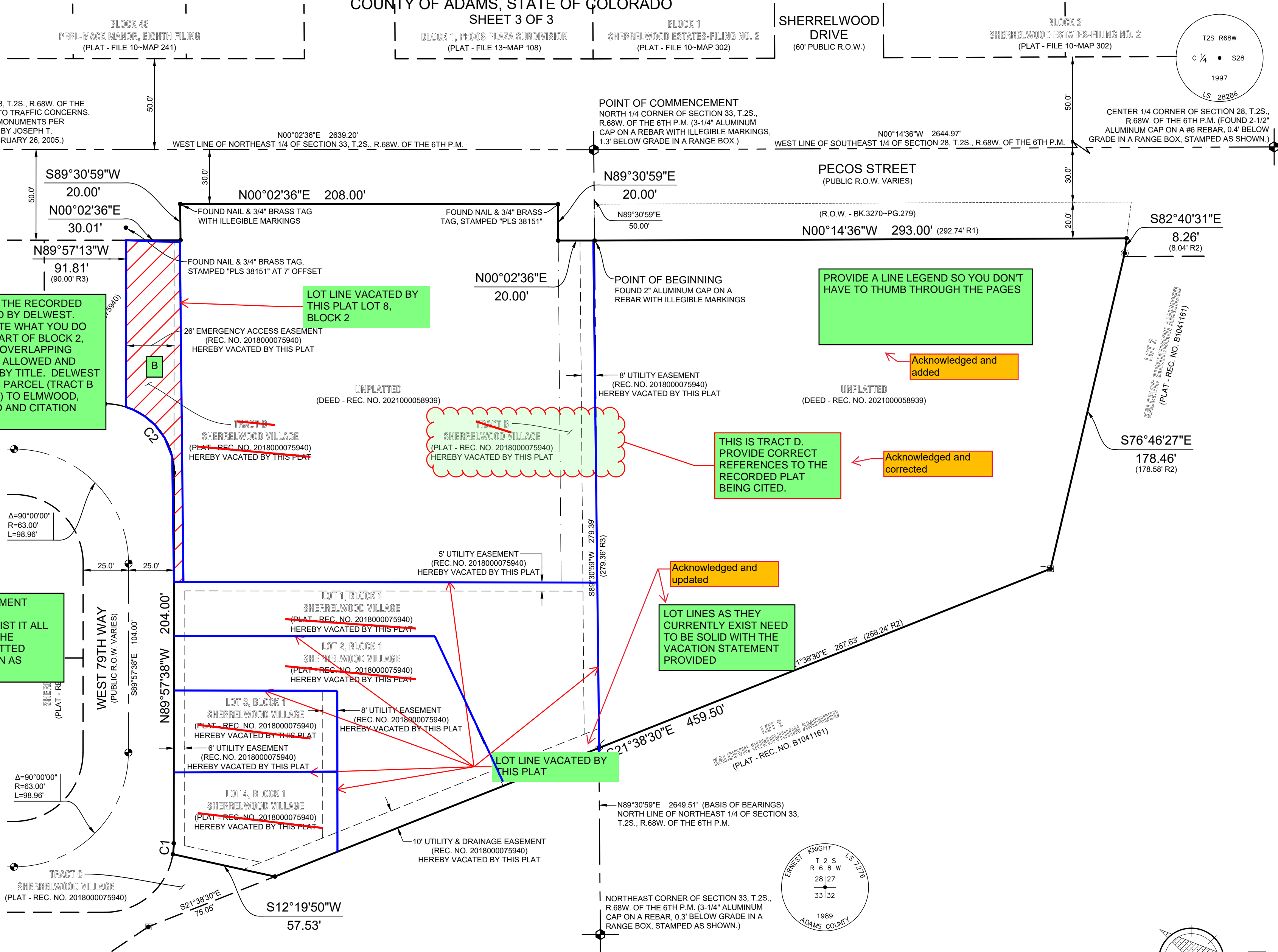
Acknowledged and
corrected

Acknowledged and
updated

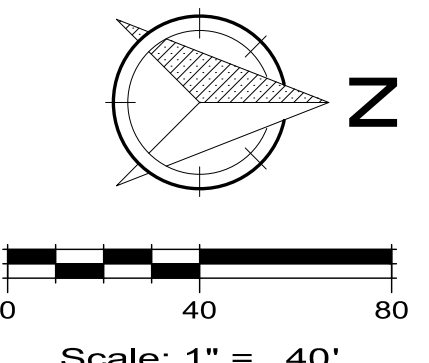
LOT LINES AS THEY
CURRENTLY EXIST NEED
TO BE SOLID WITH THE
VACATION STATEMENT
PROVIDED

LOT LINE VACATED BY
THIS PLAT

File Name: N:\Projects\Strategic Land Solutions - Inco\AdamsCo-8000 N Pecos St\CAD\Plat\Primary\8000 N Pecos St AdamsCo - Plat\Plat.dwg Plot Date: 7/3/2025 Company: ESC



<p>ESC ENGINEERING SERVICE COMPANY</p> <p><i>Creative Solutions Since 1954</i> CIVIL ENGINEERS & LAND SURVEYORS engineeringserviceco.com</p>	14190 East Evans Avenue Aurora, Colorado 80014 P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659	Revision Dates: 10/28/2024 7/3/2025
	Survey No.: 24-006-P Project No.: 814.039 Date: 6/7/2024 Field Book No.: 951 Sheet No.: 3 OF 3	



MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
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COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 3

Development Engineering Review - OSR Submittal # 2

Comments by Michael Flanagan | Civil Engineer
Email: Michael.Flanagan@ThorntonCO.gov
Office Phone: 303-538-7426
07/17/2025 9:58:53 AM

DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND BEING LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE, TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN A QUITCLAIM DEED RECORDED AT RECEPTION NO. 2021000058939, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N89°30'59"E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N00°14'36"W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.00 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED AT RECEPTION NUMBER 2021000058939;

THENCE S82°4'31"E, ALONG SAID NORTH LINE, A DISTANCE OF 8.26 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

1. S76°46'27"E, A DISTANCE OF 178.46 FEET;
2. S21°38'30"E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED AT RECEPTION NUMBER 2021000058939 AND SAID SHERRELWOOD VILLAGE, A DISTANCE OF 459.50 FEET;

THENCE S12°19'50"W, CONTINUING ALONG SAID EAST LINE OF SHERRELWOOD VILLAGE, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY (R.O.W.) LINE OF WEST 79TH WAY AS DEDICATED BY SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG SAID NORTH R.O.W. LINE, THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N85°25'28"W, A DISTANCE OF 6.01 FEET;
2. N89°57'38" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 42°01'36" AND AN ARC LENGTH OF 59.69 FEET, THE CHORD OF WHICH BEARS S38°37'14"W, A DISTANCE OF 27.25 FEET TO THE NORTHEAST CORNER OF LOT 8, BLOCK 2 OF SAID SHERRELWOOD VILLAGE;

THENCE N89°57'13"W, ALONG THE NORTH LINE OF SAID LOT 8, A DISTANCE OF 91.81 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N00°02'36"E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NUMBER 2021000058939;

THENCE S89°30'59"W, ALONG A LINE BEING PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE N00°02'36"E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N89°30'59"E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N00°02'36"E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING (143,379 SQUARE FEET) 3.29152 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO BLOCKS, LOTS, TRACTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF ELMWOOD NORTH. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THIS PLAN; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. ALL PRIVATE STREETS (OSAGE COURT) ARE PRIVATELY OWNED AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

EXECUTED THIS _____ DAY OF _____, 20_____.

OWNER: ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____
JOSEPH A. DELZOTTO

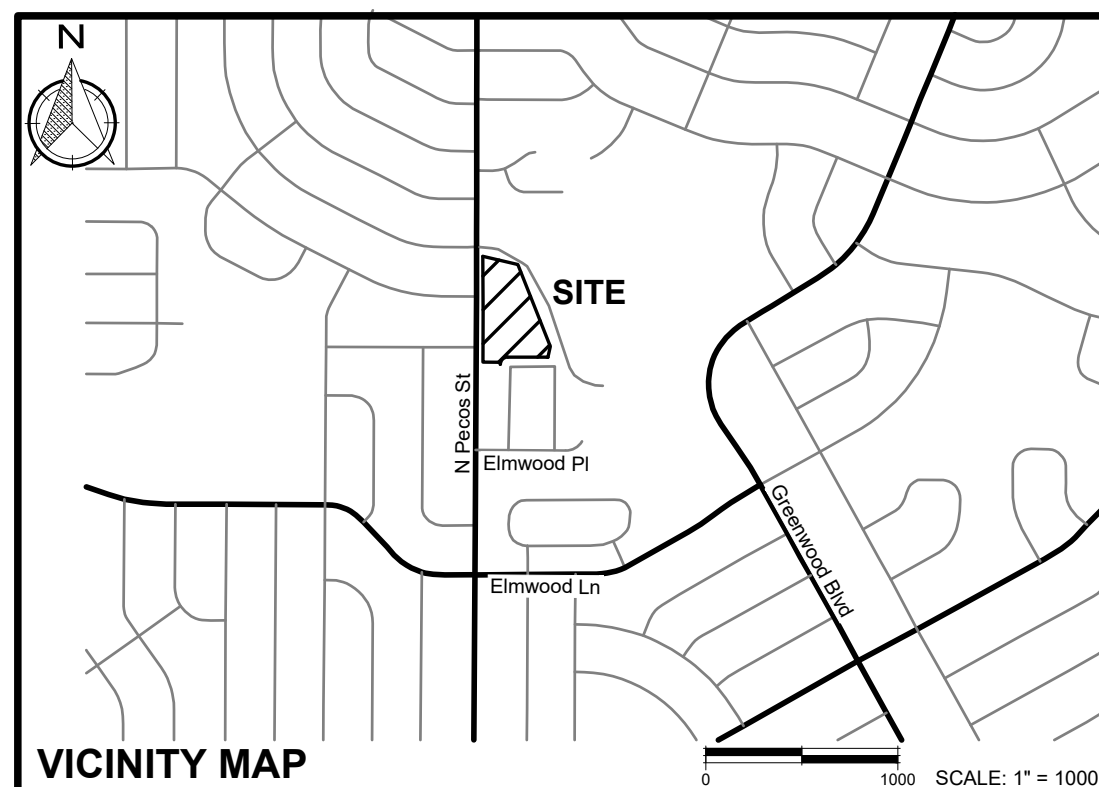
NOTARY PUBLIC:
STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20_____ BY JOSEPH A. DELZOTTO AS / FOR ELMWOOD NORTH, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

AND
EXECUTED THIS _____ DAY OF _____, 20_____.



SHEET INDEX	
SHEET	TITLE
1 OF 3	COVER SHEET
2 OF 3	PLAT MAP
3 OF 3	PLAT AND EASEMENT VACATION MAP

NOTES AND RESTRICTIONS:

1. THIS PLAT WAS BASED ON TITLE COMMITMENT NUMBER RND70782714-6 PREPARED BY LAND TITLE GUARANTEE COMPANY AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF JUNE 24, 2025 AT 5:00 P.M., AND DOES NOT CONSTITUTE A TITLE SEARCH BY THIS SURVEYOR FOR OTHER EASEMENTS AND/OR EXCEPTIONS OF RECORD.
2. BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING AN ASSUMED BEARING OF N89°30'59"E AND BOUNDED BY A FOUND REBAR WITH ILLEGIBLE 3.25" ALUMINUM CAP 1.25" BELOW GRADE IN RANGE BOX WITH NO LID BEING THE NORTH 1/4 CORNER OF SAID SECTION 33 AND A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "ERNEST KNIGHT LS 7276 1998 ADAMS COUNTY" 0.3" IN RANGE BOX WITH NO LID AT THE NORTHEAST CORNER OF SAID SECTION 33.
3. BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08001C05084H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.
4. ALL LINEAL DISTANCES ON THIS SURVEY ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
5. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS, DRIVES AND ALLEYS.
6. ALL INTERNAL ROADS AND DRAINAGE FACILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL PUD, STREET CONSTRUCTION PLANS, PAVEMENT DESIGN, GRADING & EROSION CONTROL PLAN, AND A FINAL DRAINAGE PLAN SUBMITTED TO AND APPROVED BY ADAMS COUNTY. PRIOR TO ISSUANCE OF BUILDING PERMITS FOR HOMES WITHIN THE SUBDIVISION, ALL COUNTY IMPROVEMENTS REQUIRED IN ACCORDANCE WITH APPROVED PLANS BY ADAMS COUNTY, SHALL HAVE RECEIVED PRELIMINARY ACCEPTANCE OF CONSTRUCTION BY THE DEPARTMENT OF PUBLIC WORKS.
7. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
8. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
9. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.
10. 20-FOOT UTILITY EASEMENT AS DEPICTED BUT NOT RECORDED IN A QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924 IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, SAID QUIT CLAIM DEED ONLY TRANSFERS PROPERTY DESCRIBED AS PARCEL "D" TO THE EASTERLY PROPERTY OWNER. THIS EASEMENT IS ALSO DEPICTED ON THE RECORDED PLATS OF KALCEVIC SUBDIVISION AMENDED (REC. NO. B1041161); AND SHERRELWOOD VILLAGE (REC. NO. 2018000075940) BUT THESE PLATS DID NOT DEDICATE SAID EASEMENT. THE FOREMENTIONED SHERRELWOOD PLATS LISTS THAT THIS EASEMENT WAS RECORDED IN BOOK 3251 AT PAGE 927 BUT SAID DOCUMENT IS A PORTION OF THE FOREMENTIONED QUIT CLAIM DEED WHICH DID NOT FORMALLY DEDICATE SAID EASEMENT.

SURVEYOR'S CERTIFICATE:

I, CHARLES N. BECKSTROM, A REGISTERED SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION ON THE 9TH DAY OF JANUARY, 2024, AND THAT THE ACCOMPANYING MAP ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION.

I FURTHER CERTIFY THAT I, CHARLES N. BECKSTROM, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, CERTIFY FOR AND ON BEHALF OF ENGINEERING SERVICE COMPANY THAT THE SURVEY SHOWN HEREON WAS PERFORMED BY ME OR UNDER MY RESPONSIBLE CHARGE, THAT IT IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF, THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE, THAT IT IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED AND IS, TO THE BEST OF MY KNOWLEDGE, ACCURATE AND COMPLETE.

CHARLES N. BECKSTROM
PROFESSIONAL L.S. NO. 33202
FOR AND ON BEHALF OF
ENGINEERING SERVICE COMPANY

PLANNING COMMISSION APPROVAL:

REVIEWED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ A.D. 20_____.

CHAIRMAN _____

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____ A.D. 20_____.

CHAIRMAN _____

ADAMS COUNTY ATTORNEY'S OFFICE:

APPROVED AS TO FORM _____

City of Thornton notes regarding the exclusive water and sanitary easements being dedicated are required.

WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTERESTED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

Acknowledged, note has been added

The City of Thornton will require a title insurance policy for the easement areas dedicated to the City, valued at the cost of the land + improvements, and naming the City of Thornton as an insured party. This policy must be provided to the City immediately following (typically within 3 days of) recordation of the plat.

Noted

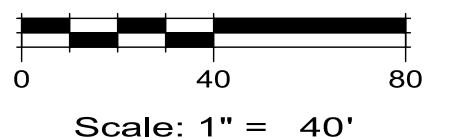
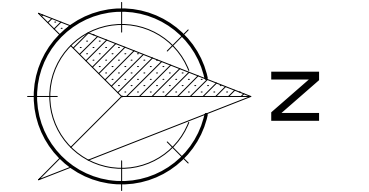
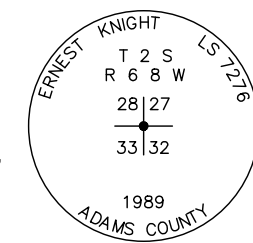
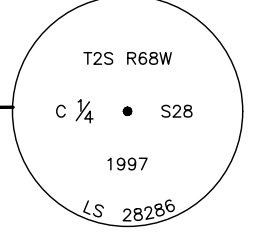
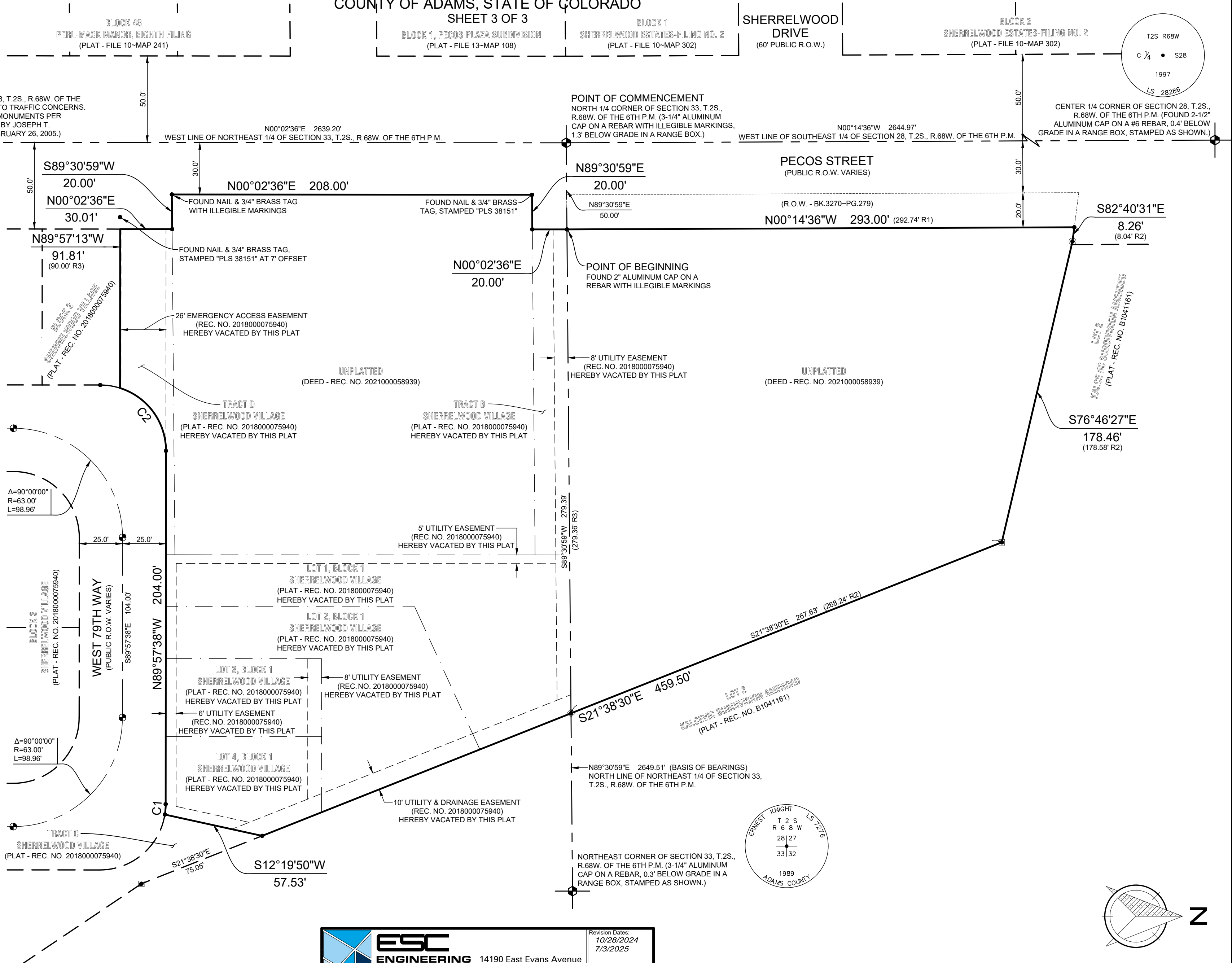
	ESC ENGINEERING SERVICE COMPANY	14190 East Evans Avenue Aurora, Colorado 80014 P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659	Revision Dates: 10/28/2024 7/3/2025
	Creative Solutions Since 1954 CIVIL ENGINEERS LAND SURVEYORS engineeringsserviceco.com		
Survey No.: 24-006-P	Project No.: 814.039	Date: 6/7/2024	Field Book No.: 951 Sheet No.: 1 OF 3

MINOR SUBDIVISION ELMWOOD NORTH

CASE NO. PRC2024-00012

A RESUBDIVISION OF LOTS 1 THROUGH 4, BLOCK 1, TRACTS B AND D, SHERRELWOOD VILLAGE
TOGETHER WITH A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28 AND THE NORTHEAST 1/4 OF SECTION 33,
ALL WITHIN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 3 OF 3



<p>ESC ENGINEERING SERVICE COMPANY</p> <p><small>Creative Solutions Since 1954 CIVIL ENGINEERS & LAND SURVEYORS engineeringserviceco.com</small></p>	14190 East Evans Avenue Aurora, Colorado 80014		Revision Dates: 10/28/2024 7/3/2025
	P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659		
Survey No.: 24-006-P	Project No.: 814.039	Date: 6/7/2024	Field Book No.: 951
			Sheet No.: 3 OF 3

File Name: N:\Projects\Strategic Land Solutions - Inco\AdamsCo-8000 N Pecos St\CAD\Plat\Primary\8000 N Pecos St AdamsCo - Prel\Plat.dwg Plot Date: 7/3/2025 Company: ESC

SHERRELWOOD VILLAGE P.U.D. AMENDMENT NO. 2
LOT 1, BLOCK 4, SHERRLEWOOD VILLAGE FILING NO. 1 - PLAT CORRECTION NO. 1
LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 33 & THE SOUTHEAST ONE-QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST, OF THE 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION:
ELMWOOD NORTH PLAT BOUNDARY

A PARCEL OF LAND BEING LOT 1, BLOCK 4, SHERRLEWOOD VILLAGE FILING NO. 1 - PLAT CORRECTION NO. 1, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 202200050487, TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 201900073502 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 201900073543, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3254 AT PAGE 139;
THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 3.12 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;
THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

1. S 76°46'56" E, A DISTANCE OF 178.56 FEET;
2. S 21°38'59" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED IN BOOK 3254 AT PAGE 139 AND SAID SHERRLEWOOD VILLAGE FILING NO. 1 - PLAT CORRECTION NO. 1, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 1, BLOCK 4, SAID SHERRLEWOOD VILLAGE FILING NO. 1 - PLAT CORRECTION NO. 1;
3. THENCE ALONG THE EAST, SOUTH AND WEST LINES OF SAID LOT 1, BLOCK 4, THE FOLLOWING
4. ELEVEN (11) COURSES:
5. S 12°19'21" W, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SHERRLEWOOD VILLAGE PLAT, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 201800075940 AND A POINT OF NON-TANGENT CURVATURE;
6. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N85°25'57" W, A DISTANCE OF 6.02 FEET;
7. N 89°58'07" W, A DISTANCE OF 214.00 FEET TO A POINT OF CURVATURE;
8. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.89 FEET;
9. N 00°01'53" E, A DISTANCE OF 11.47 FEET;
10. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRLEWOOD VILLAGE PLAT;
11. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NO. 201900073502;
12. S 89°30'30" W, ALONG A LINE BEING PARALLEL WITH THE NORTH LINE OF THE NORTHEAST
13. QUARTER OF SAID SECTION 33, A DISTANCE OF 21.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
14. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 218.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
15. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 21.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRLEWOOD VILLAGE PLAT;
16. THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 21.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE LEGAL DESCRIPTION DESCRIBES ALL OF THAT LAND CONTAINED IN QUIT CLAIM DEED RECORDED ON MAY 13, 2021 AT RECEPTION NUMBER 202100058939 AND IN QUIT CLAIM DEED RECORDED JANUARY 28, 2022 AT RECEPTION NUMBER 202200008812 AND ALL OF LOT 1, BLOCK 4, SHERRLEWOOD VILLAGE FILING NO. 1 - PLAT CORRECTION NO. 1, A PLAT RECORDED JUNE 7, 2022 AT RECEPTION NUMBER 202200050487, ALL IN ADAMS COUNTY, COLORADO.

ASSURANCE NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES ALL THAT LAND INSURED IN SCHEDULE A(5) OF TITLE COMMITMENT NUMBER RND70782714 PREPARED BY LAND TITLE GUARANTEE COMPANY AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF JULY 27, 2022.

ZONING INFORMATION:
THIS SITE IS CURRENTLY ZONED: PUD-ELMWOOD NORTH (PLANNED UNIT DEVELOPMENT)
FLOOD PLAIN:
BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

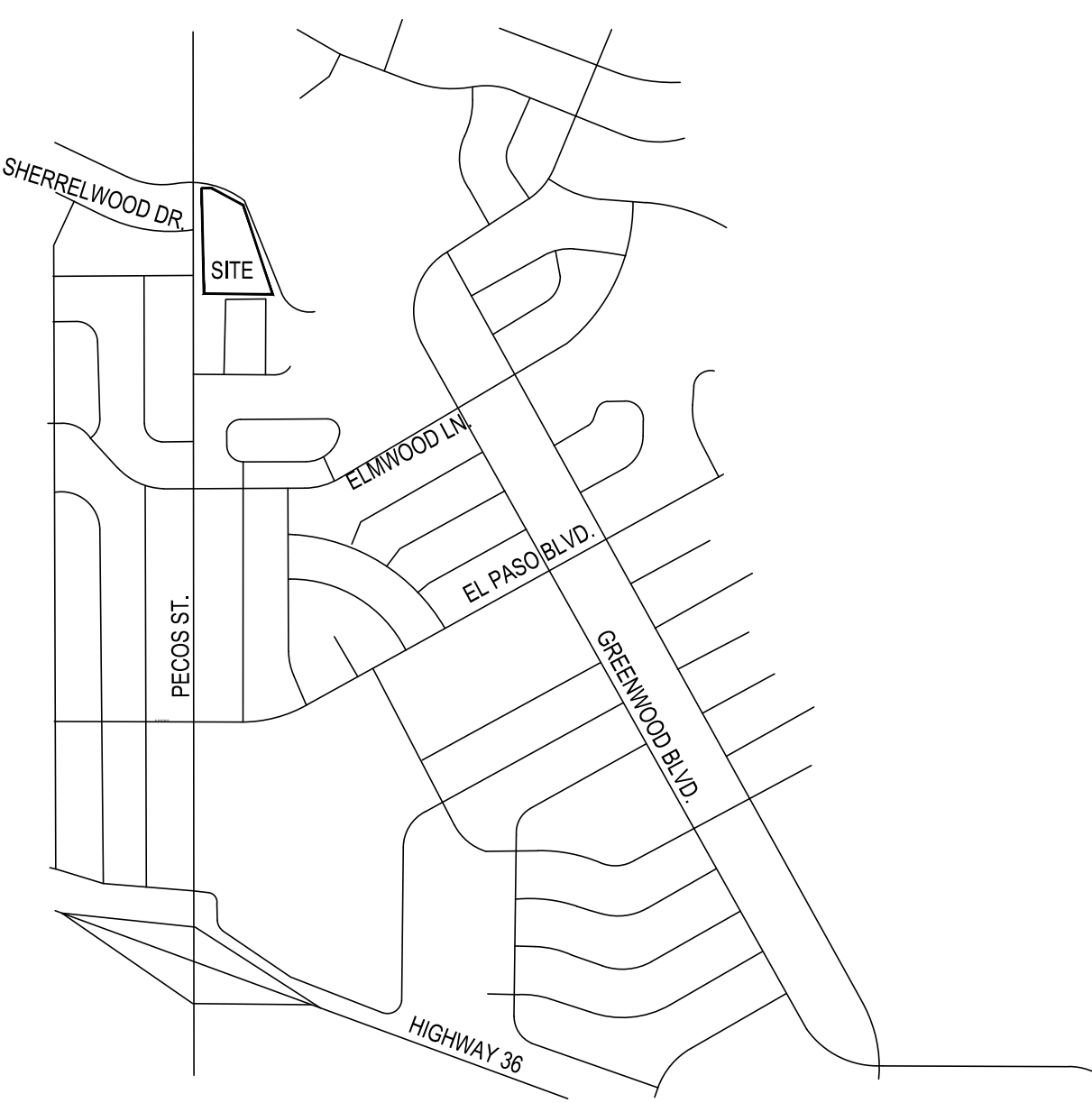
BASIS OF BEARINGS:
BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING AN ASSUMED BEARING OF N89°30'59" E AND BOUNDED BY A FOUND REBAR WITH ILLEGIBLE 3.25" ALUMINUM CAP 1.25" BELOW GRADE IN RANGE BOX WITH NO LID BEING THE NORTH 1/4 CORNER OF SAID SECTION 33 AND A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "ERNEST KNIGHT LS 7276 1998 ADAMS COUNTY" 0.3" IN RANGE BOX WITH NO LID AT THE NORTHEAST CORNER OF SAID SECTION 33.

BENCHMARK:
BENCHMARK: THE STATION IS A 3.25-INCH COLORADO DEPARTMENT OF TRANSPORTATION DISK STAMPED "COLORADO DEPT OF TRANSPORTATION PLS 29039 POINT 547 ROW" MONUMENT-SET INTO THE GROUND IN A COBBLE-FILLED LANDSCAPED AREA, 99 FT NORTH FROM THE SIGNAL MAST IN THE RIGHT-TURN ISLAND OF THE WEST-BOUND OFF-RAMP FROM US 36, 66 FT EAST FROM THE CENTERLINE OF PECOS STREET, 7 FT EAST FROM THE EAST EDGE OF THE CONCRETE WALK, 0.5 FT WEST FROM A GREEN CARSONITE WITNESS POST ELEVATION: 5286.39 FEET (NAVD 1988 DATUM).

PURPOSE STATEMENT:
THIS P.U.D. AMENDMENT IS TO REPLAT THE EXISTING LOTS INTO TWO LOTS AND ONE TRACT FOR A MULTIFAMILY DEVELOPMENT.

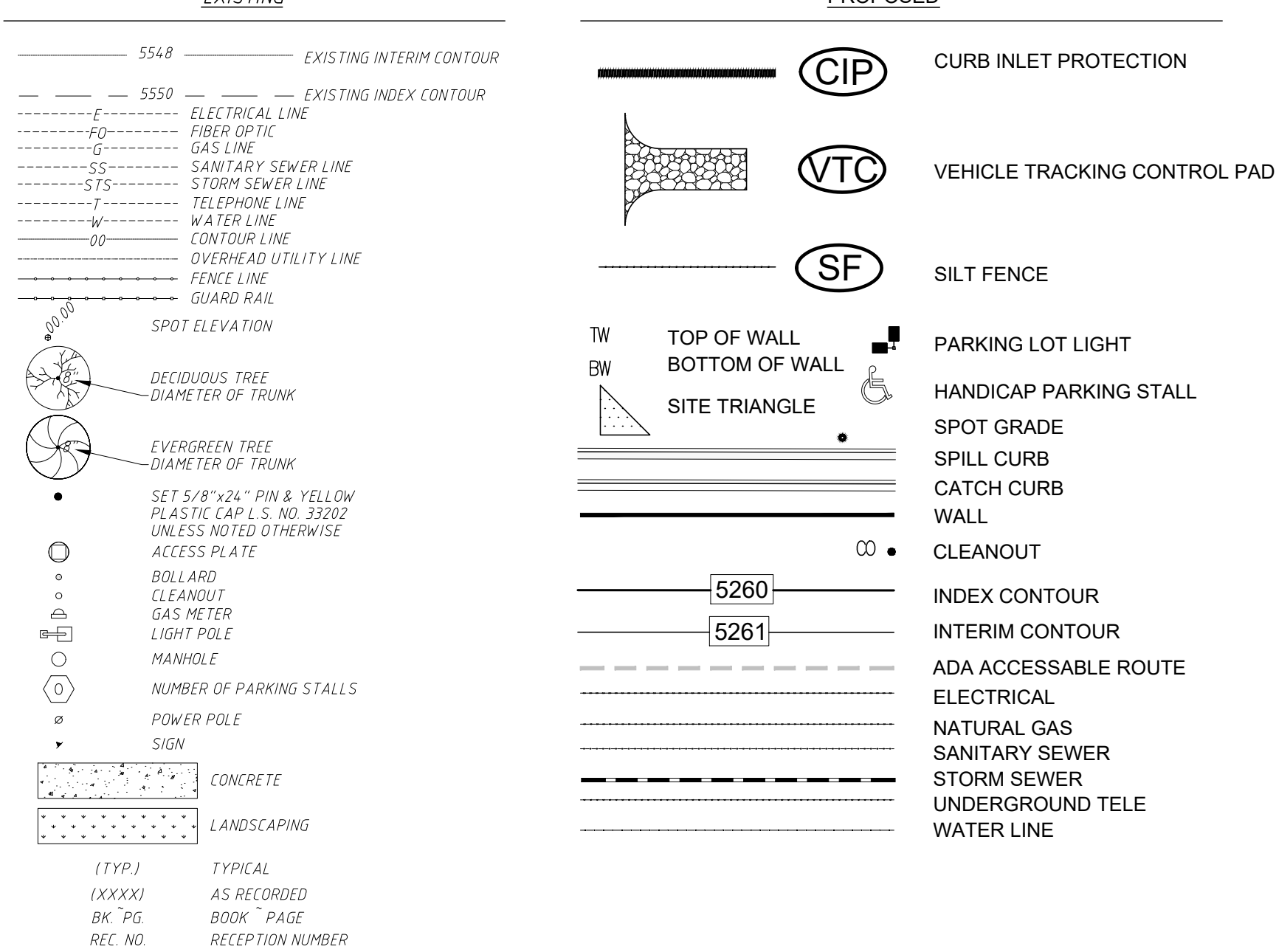
MINIMUM SETBACKS	
FRONT (PECOS ST.)	10'
REAR	5'
SIDE	5'
FRONT (WALK/PARKING)	5'
SEPARATION	10'

DEVELOPMENT STANDARDS	ALLOWED	PROPOSED
MINIMUM FLOOR AREA	1,700 S.F.	1,700 S.F.
MAXIMUM LOT COVERAGE	70%	
MAXIMUM DENSITY	70 UNITS	69 UNITS
MINIMUM LANDSCAPED AREA	30%	30%
ACTIVE OPEN SPACE	25%	25%
MAXIMUM BUILDING HEIGHT	40'	36'-4"
MINIMUM PARKING SPACES	140	135



1 OF 21	TITLE SHEET
2 OF 21	NOTES
3 OF 21	EXISTING CONDITIONS NORTH
4 OF 21	EXISTING CONDITIONS SOUTH
5 OF 21	CONCEPTUAL SITE PLAN NORTH
6 OF 21	CONCEPTUAL SITE PLAN SOUTH
7 OF 21	MULTI-MODAL PLAN
8 OF 21	PRELIMINARY GRADING PLAN NORTH
9 OF 21	PRELIMINARY GRADING PLAN SOUTH
10 OF 21	DETENTION POND MODIFICATION
11 OF 21	PRELIMINARY UTILITY PLAN NORTH
12 OF 21	PRELIMINARY UTILITY PLAN SOUTH
13 OF 21	LANDSCAPE PLAN
14 OF 21	LANDSCAPE DETAILS & NOTES
15 OF 21	LANDSCAPE DETAILS
16 OF 21	LANDSCAPE DETAILS
17 OF 21	LANDSCAPE SPECIFICATIONS
18 OF 21	ARCHITECTURAL FLOOR PLANS
19 OF 21	ARCHITECTURAL FLOOR PLANS
20 OF 21	ARCHITECTURAL FLOOR PLANS
21 OF 21	ARCHITECTURAL ELEVATIONS

LEGEND



PROJECT CONTACTS

OWNER/DEVELOPER
ELMWOOD NORTH LLC
CONTACT: MR. JOE DELZOTTO
155 S. MADISON STREET, STE 326
DENVER, CO 80209
303-888-8048

SITE ENGINEER
STRATEGIC LAND SOLUTIONS, INC.
CONTACT: MR. ROBERT PALMER, P.E.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
(720) 384-7661

LANDSCAPE ARCHITECT
NATURAL DESIGN SOLUTIONS
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SURVEY
ENGINEERING SERVICE COMPANY
CONTACT: MR. CHIP BECKSTROM
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(303) 1393 | PHONE

REVIEW AGENCY
ADAMS COUNTY, CO
PLANNING DEPT.
CONTACT: Mr. Greg Barnes
4430 S. ADAMS COUNTY PKWY.
1ST FLOOR, SUITE W2000B
BRIGHTON, CO 80601-8218
720-523-6880

CITY OF THORNTON
Development Engineering Review - OSR Submittal # 2
Comments by Michael Flanagan | Civil Engineer
Email: Michael.Flanagan@ThorntonCO.gov
Office Phone: 303-538-7426
07/29/2025 10:54:43 AM

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155 SOUTH MADISON ST., SUITE 326
DENVER, CO 80209

CIVIL ENGINEER
Strategic Land Solutions, Inc.
Civil Engineering • Land Planning • Site Services
2595 PONDEROSA ROAD
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rpalmer@strategics.net
Robert J. Palmer, PE
President

ARCHITECT:
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SEAL: PREPARED UNDER THE DIRECT SUPERVISION OF:
SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER
ROBERT J. PALMER
36320
BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

NO.	DATE	REVISION DESCRIPTION
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SITE ADDRESS:
ELMWOOD NORTH TOWNHOMES
8000 N. PECOS STREET
ADAMS COUNTY, CO

SCALE:	AS NOTED	.
DATE:	06/27/2025	.
DESIGNED BY:	RJP	.
DRAWN BY:	SEL	FILE NAME:
CHECKED BY:	FPP	CURRENTCIVIL.DWG
DRAWING TITLE:	SLS IN: 24-0024-01	

TITLE SHEET

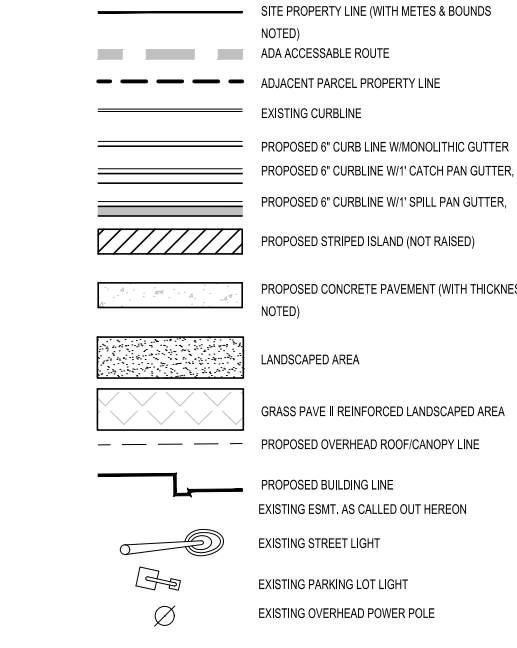
SHEET NO:
1 OF 21



SITE PLAN NOTES

- ALL DIMENSIONS AND RADII ARE TO THE FACE (FOR 6" REVEAL CURB) OR FLOWLINE (FOR CURB & GUTTER) UNLESS OTHERWISE NOTED.
- PARKING SPACE STRIPING TO BE WHITE, 4" WIDE, UNLESS OTHERWISE NOTED.
- LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY PREPARED BY CLC, INC.
- CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER TO BE REMOVED (IF APPLICABLE) SHALL BE SAWCUT. CONTRACTOR SHALL REMOVE TO NEXT JOINT IF SAWCUT IS WITHIN 5 FOOT OF A JOINT.
- THE PARKING AREAS AND ACCESS DRIVES SHALL CONSIST OF A FLEXIBLE COMPOSITE PAVEMENT SECTION OF SIX-INCHES OF ASPHALT OVER FOUR-INCHES OF AGGREGATE BASE COURSE (REFERENCE: SOILS REPORT). AT A MINIMUM, THE PAVEMENT SHALL BE DESIGNED TO SUPPORT THE WEIGHT IMPOSED BY FIRE APPARATUS (40,500 LBS, 3 AXLES).
- THE DRIVE THRU LOADING AREA AND TRASH DUMPSTER AREA SHALL CONSIST OF A PORTLAND CEMENT CONCRETE PAVEMENT WITH A MINIMUM THICKNESS OF EIGHT (8) INCHES (UNLESS OTHERWISE NOTED) WITH A 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI.
- ALL HANDICAP RAMPS TO INCLUDE DETECTABLE WARNING PANELS.
- ALL CONSTRUCTION WITHIN PUBLIC-RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE CURRENT ADAMS COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.
- ALL ACCESS AND ACCESSIBLE PARKING IS DESIGNED TO MEET ADA ACCESSIBILITY REQUIREMENTS.
- ALL CURBS ARE 6" HIGH UNLESS OTHERWISE NOTED.

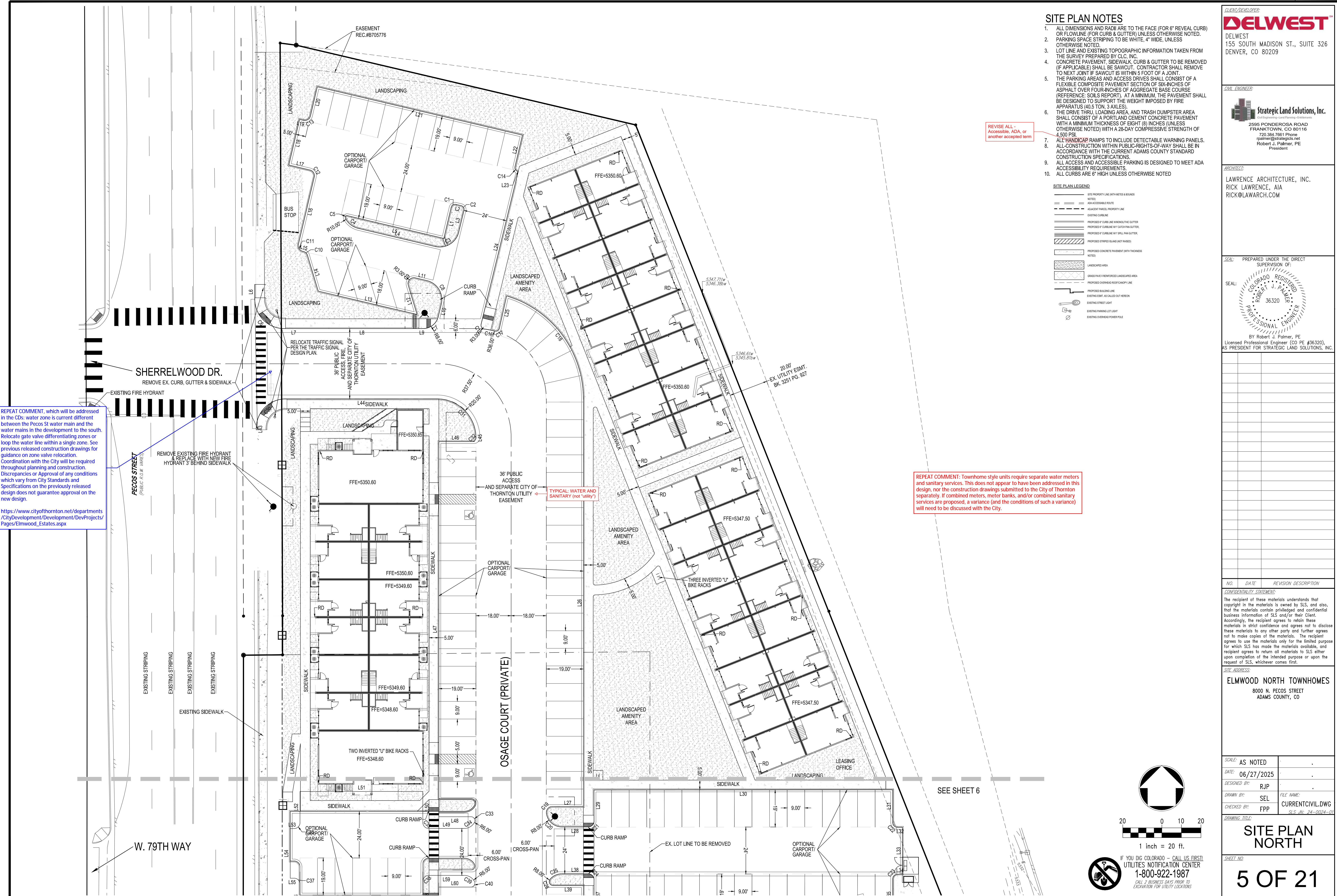
SITE PLAN LEGEND



REVISE ALL - Accessible, ADA, or another accepted term

REPEAT COMMENT: Townhome style units require separate water meters and sanitary services. This does not appear to have been addressed in this design, nor the construction drawings submitted to the City of Thornton separately. If combined meters, meter banks, and/or combined sanitary services are proposed, a variance (and the conditions of such a variance) will need to be discussed with the City.

REPEAT COMMENT, which will be addressed in the CDs: water zone is current different between the Pecos St water main and the water mains in the development to the south. Relocate gate valve differentiating zones or loop the water line within a single zone. See previous released construction drawings for guidance on zone valve relocation. Coordination with the City will be required throughout planning and construction. Discrepancies or Approval of any conditions which vary from City Standards and Specifications on the previously released design does not guarantee approval on the new design.
https://www.cityofthornton.net/departments/CityDevelopment/Development/DevProjects/Pages/Elmwood_Estates.aspx



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SCALE: PREPARED UNDER THE DIRECT SUPERVISION OF:
SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER

 By Robert J. Palmer, PE
 Licensed Professional Engineer (CO PE #36320),
 AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

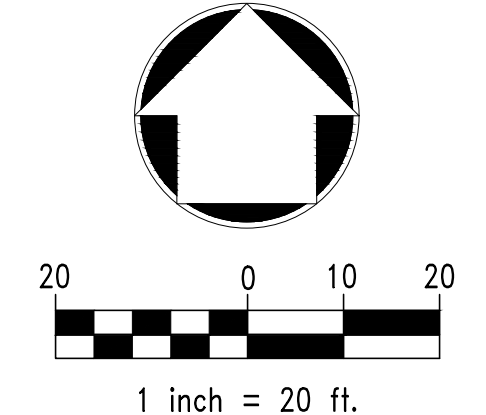
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DRIVING TITLE
SITE PLAN NORTH
5 OF 21

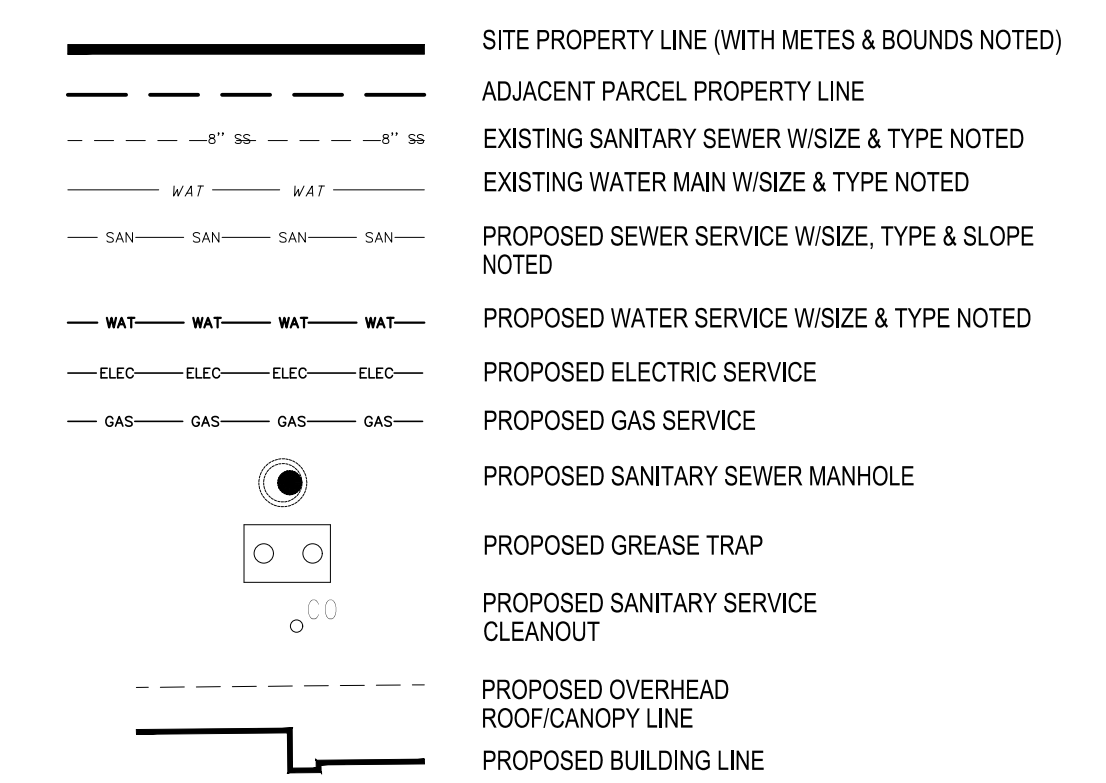


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UTILITY NOTES:

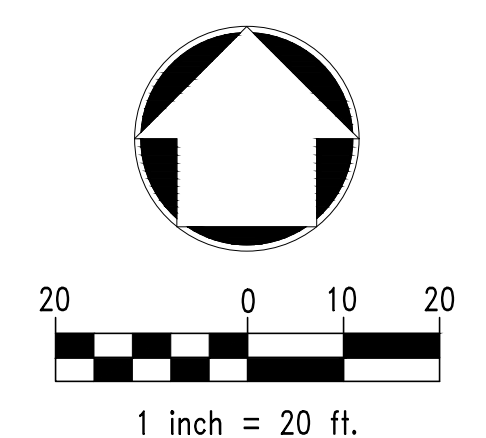
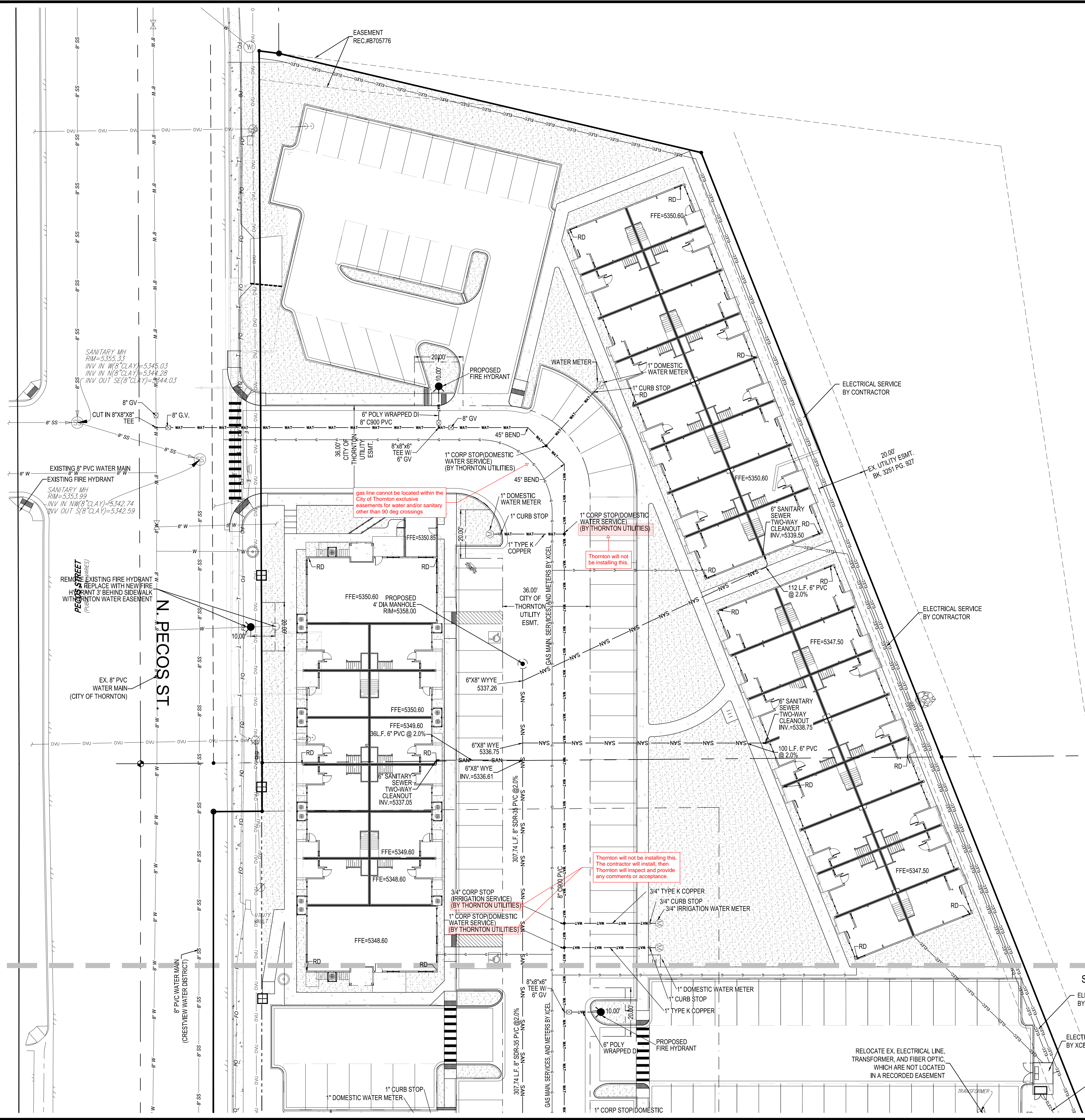
1. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK. PROTECT UTILITIES FROM DAMAGE DURING CONSTRUCTION.
2. OWNER WILL OBTAIN ALL PERMITS FOR UTILITY HOOKUPS. CONTRACTOR WILL COORDINATE ACTUAL HOOKUPS WITH UTILITY COMPANIES IMPACTED.
3. REFER TO LAYOUT & CONTROL PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
4. EXISTING UTILITY INFORMATION TAKEN FROM THE SURVEY PREPARED BY ENGINEERING SERVICE COMPANY.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE ADAMS COUNTY ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE ADAMS COUNTY ENGINEERING DIVISION INSPECTION SECTION, A MINIMUM OF 48 HOURS AND A MAXIMUM OF 116 HOURS PRIOR TO STARTING CONSTRUCTION.
7. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR ONE (1) YEAR FROM THE DATE OF CITY ACCEPTANCE. AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE ADAMS COUNTY.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER, OWNER'S REPRESENTATIVE OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
9. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS. PIPE ZONE (BEDDING) COMPACTION SHALL BE 97% STANDARD PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY. TRENCH ZONE COMPACTION SHALL BE 97% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY INSIDE STREET RIGHTS-OF-WAY, AND 97% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY OUTSIDE STREET RIGHTS-OF-WAY UNLESS SPECIFIED OTHERWISE.
10. PRIVATE STORM SEWERS WILL BE SDR-35 PVC, OR OTHER MATERIAL APPROVED BY THE ADAMS COUNTY ENGINEERING DEPARTMENT.
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12. POLYVINYL CHLORIDE (PVC) PIPE SHALL CONFORM TO ASTM D-3034 TYPE PSM WITH A MINIMUM SDR OF 35. JOINTS SHALL BE ELASTOMETRIC GASKET TYPE MEETING THE REQUIREMENTS OF ASTM D-3212.
13. WATER SERVICE LINES SHALL BE TYPE "K" COPPER.
14. COORDINATE LOCATION OF ELECTRIC METER AND TRANSFORMER, AND GAS METER WITH MECHANICAL DRAWINGS. CONTRACTOR TO COORDINATE SERVICE CONNECTIONS WITH UTILITY COMPANY.
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UTILITY PLAN LEGEND



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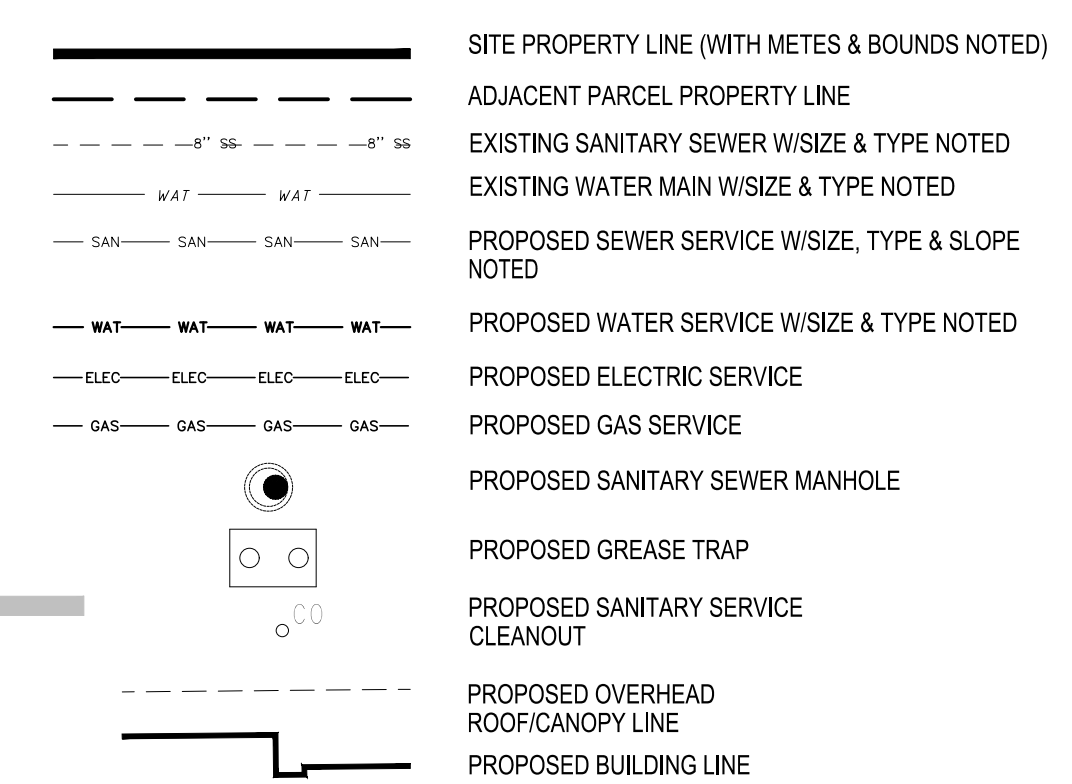
SCALE:	AS NOTED
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DESIGNED BY:	RJP
DRAWN BY:	SEL
CHECKED BY:	FPP
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SLS IN: 24-0024-01	

PRELIMINARY UTILITY PLAN NORTH

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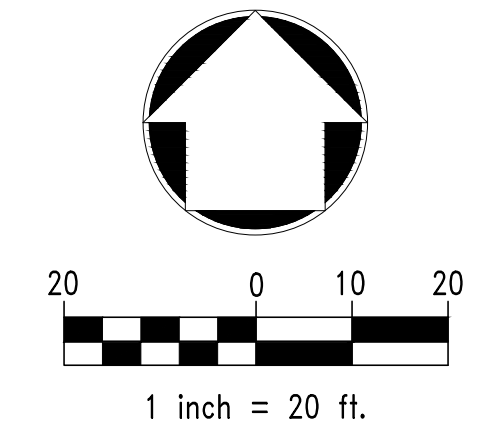
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PRELIMINARY UTILITY PLAN SOUTH

12 OF 21

