

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 01	There are many sections within this FDP where the text could be simplified. There is a lot of repetition. The FDP should not be used to....	FPD text has been simplified where appropriate.
Layla Bajelan	PLN 02	Page 2, Section B- This section notes that this FDP is consistent with the approved PUD, however, this should be changed to Preliminary Development Plan (PDP).	Comment Acknowledged – corrected
Layla Bajelan	PLN 03	Page 2, Section D- This sentence “TWO TYPES OF TOWNHOME UNITS ARE PROPOSED, BOTH ALLEY-LOADED WITH FRONT PORCHES TO THE STREET, GREEN COURT OR OPEN SPACE.” Seems to be missing another attached housing type, please revise.	Comment Acknowledged – There are only two types of proposed Townhomes. The chart on page 3 has been updated to reduce the confusion.
Layla Bajelan	PLN 04	Page 2, Section D- Define the range of square footage of the housing units.	Comment Acknowledged – square footage range has been included
Layla Bajelan	PLN 05	Page 2, Section E- There is a typo within this sentence “ALLEYS AND PRIVATE DRIVES WILL BE USE TO ACCESS GARAGES AND PARKING FOR THE HOMES IN THE FDP.”	Comment Acknowledged – corrected

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Layla Bajelan	PLN 06	Page 2, Section F- There is a typo within this sentence “THE HELP ENSURE A PEDESTRIAN-FRIENDLY ENVIRONMENT, THE PLANNED CIRCULATION PATTERNS ALLOW FOR DISTRIBUTION AND DISBURSEMENT OF INTERNAL TRAFFIC THROUGH THE DEVELOPMENT.”	Comment Acknowledged – sentence removed
Layla Bajelan	PLN 07	Page 2, Section F- Again, this section should refer back to the PDP, “FILING THIRTEEN WILL GAIN ACCESS FROM W 68 TH AVE. AND W 67 TH AVE. STANDARDS APPROVED AS PART OF THE PUD.”	Comment Acknowledged – corrected
Layla Bajelan	PLN 08	Page 2, Section G- Who will own the common areas?	Comment Acknowledged – All common area will be owned and maintained by Midtown Clear Creek Metro District (MCCMD).

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Layla Bajelan	PLN 09	<p>The active recreation that is proposed appears to not meet the minimum requirements. The dog park, play lawn, and gathering spaces do not count as active recreation. The play lawn appears to be just grass/turf. Why is this active open space? How is a dog park active recreation for a person? Similar to Filing No. 12, there is concern from the residents that the open space and amenities are not ideal.</p>	<ol style="list-style-type: none"> 1) At the neighborhood meeting held on 10/02/2023, several residents voice their desire for more adult recreation spaces, they said the community is full of kid-oriented parks. 2) We believe that a play lawn meets the intent of providing active open space allowing a space to toss a Frisbee or kick a ball. To activate the play lawns, we have increased the play lawn areas to allow for space equivalent to a volleyball court as well as include corn hole features near the main plaza. At the neighborhood meeting referenced above, the residents expressed a desire for turf/flex lawn space.
Layla Bajelan	PLN 10	<p>Typically, we would like to see parameters, such as x amount of bushes and x amount of trees per x amount of linear feet, but the proposed landscape plan is too detailed and would cause a minor amendment to be required if someone were to propose any minor change to the plan. This will be included as supplemental documentation with the FDP.</p>	<p>Comment Acknowledged – The detailed Landscape Sheets have been removed from the FDP and placed in a separate Supplemental Landscape Design Development set.</p>

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Layla Bajelan	PLN 11	Was parking on W. 68 th Avenue included as park of the required parking counts for any other filing?	No, the 7 on-street parking spaces on W. 68 th Ave are not part of any past filings. The sidewalk adjacent to these spots have not been constructed with previous filings so there would have been no access to the spots to count them. Also, this area has not been within the boundary of previous filings.
Layla Bajelan	PLN 12	All setbacks appear to meet the requirements set out within the 3 rd Amendment to the PDP.	Comment Acknowledged –
Layla Bajelan	PLN 13	Setbacks and height requirements for community amenities should be included within the FDP.	Comment Acknowledged – minimum building setback and maximum building height for community amenities has been added to Sheet 2 of 7 and 7 of 7 of the FDP.
Christine Fitch Attorney Review		Please revise plat pursuant to ROW and planner comments and resubmit.	Revised as requested.
Laurie Clark Development Engineering	ENG 2	Property is in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is required, and a State Permit COR400000 WILL be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.	A SWQ Permit application has been sent in with a grading permit.

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Laurie Clark	ENG 2	Property is in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is required, and a State Permit COR400000 WILL be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.	A SWQ Permit application has been sent in with a grading permit.
Laurie Clark	ENG 3	Engineering Review case EGR2023-00044 is currently under review. Drainage Addendum Memo, Traffic Conformance Letter and Construction Documents were submitted. An Operations and Maintenance Manual (O&M) will be required for the proposed drainage facilities that also includes the detention pond serving as the outfall for Filing 13.	O&M manual for the existing pond has been supplied with this submittal.
Laurie Clark	ENG 4	If the applicant proposes to import greater than 10 CY of soil to this site, additional permitting is required.	Noted, currently the goal is to have the site earthwork balance.

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		Per Section 4-04-02-02, of the Adams County Development Standards and Regulations, a Temporary or Special Use Permit is required to ensure that only clean, inert soil is imported into any site within un-incorporated Adams County. A Conditional Use Permit will be required if the importation exceeds 500,000 CY.	
Laurie Clark	ENG 5	A Subdivision Improvements Agreement (SIA) will be required for public improvements.	Noted, SIA will be submitted.
Laurie Clark	ENG 6	No building permits will be issued until all public improvements have been constructed, inspected, and preliminarily accepted by the Adams County Public Works Department.	Noted, thank you.
Laurie Clark	ENG 7	The developer is responsible for the repair or replacement of any broken or damaged public infrastructure.	Noted, thank you.
Laurie Clark	ENG 8	Applicant should coordinate with Adams County Public Works staff concerning a CIP project that may impact W 68 th Ave.	Noted, thank you.
Megan Grant Environmental Analyst Review	ENV 1	The subject parcel is a historic landfill (MBS Industries/5 Part Dev) and part of a reclaimed gravel mine	See attached letter from A.G. Wassenaar, Inc. dated 1/10/2024.

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		<p>(North Pecos Center, 55.4 acres) site. The landfill application for fly ash, industrial waste, and solidified liquids from CSI (62nd and Huron) was rejected and the pit was filled with concrete and asphalt and covered under a court order with Sunstrand. Our records do not indicate environmental covenants or restrictions on the subject parcel. Refer to letter from Colorado Geological Survey regarding issues with fill and waste materials in fill. Response to these issues will be required for Adams County review.</p>	
	ENV 2	<p>An inert fill permit must be obtained prior to importing any volume of fill material onto the parcel as part of site development. The permit type will depend on the duration and total volume of fill imported to the site.</p>	<p>Noted, currently the goal is to have the site earthwork balance so no import will be needed.</p>
David Dittmer Prelim Plat	ROW 1	<p>Ownership is vested in Midtown LLC. The Title BINDER provided is not a title commitment. A commitment with a Schedule A and B is required for review and dated within 30 days of the application. This</p>	<p>Note, a commitment will be provided with this submittal.</p>

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		Title Commitment must provide hyperlinks to all cited documents or an abstract.	
David Dittmer Prelim Plat	ROW 2	A new Statement of Authority must be provided for Midtown LLC. The one recorded at Rec. #2013000000897 has different officers stated and must have two of these officers to bind the LLC. It must be recorded.	New statement of authority has been provided with this submittal.
David Dittmer Prelim Plat	ROW 3	The vesting deed cited in the ownership statement is incorrect. This cites Carma not Midtown LLC.	Please see the state filed Articles of Amendment regarding the name change from Carma to Midtown LLC supplied with this submittal.
David Dittmer Prelim Plat	ROW 4	Correct the distance in course 5 within the 9 course vector descriptions. Should read 61.88' not 57.02'	Revised as requested.
David Dittmer Prelim Plat	ROW 5	Need to revise the illegible portion of the dedication statement for review. See application guidelines and checklist for approved dedication statements and formatting. Need to include "PRELIMINARY PLAT" in the name and style.	Revised as requested.
David Dittmer Prelim Plat	ROW 6	Below the dedication statement: Executed this ____ day of _____, 202__ OWNER: Midtown LLC	Revised as requested.

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		BY: [TYPE ENTITIES NAMES BELOW SIGNATURE LINE] MUST MATCH THE SOA AS REQUESTED	
David Dittmer Prelim Plat	ROW 7	Affirmation should read: THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS BY [TITLE OF SIGNATORY(S) AS FOR/OF MIDTOWN LLC	Revised as requested.
David Dittmer Prelim Plat	ROW 8	With the inclusion of the Metro District, we need a copy of their by-laws or appointment of the individual who will sign on behalf of the district to verify their ability to accept the dedications.	District will no longer be required to sign the plat since Midtown, LLC owns the entire property being platted.
David Dittmer Prelim Plat	ROW 9	No recording information blanks will be allowed on the Final Plat. They can be blank for the preliminary.	Noted, thank you.
David Dittmer Prelim Plat	ROW 10	No colored ink. Remove all red and blue inks.	Revised as requested.
David Dittmer Prelim Plat	ROW 11	Missing Tract labels on sheets. See comments on plat.	Revised as requested.
David Dittmer Prelim Plat	ROW 12	Add case number to top right-hand corner of all sheets. (PRC2023-00023)	Revised as requested.
David Dittmer Final Plat	ROW 1	Comments as provided on the Preliminary Plat will hold true to the final plat, except:	Revisions to the preliminary plat will be completed on the final plat as requested.

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		a. Remove the Planning Commission Approval as they will not hear this again b. Revise Ownership and Dedication Statement by removing “-PRELIMINARY PLAT” c. Add clerk and recorders block. d. Provide a Title Commitment e. Revise the Dedication Statement, Notary Affirmation, Acknowledgement, Metro Dist. Signature, etc. f. All citations must be provided from the previous blank lines to the recorded document	
David Dittmer Final Plat	ROW 2	Addressing will be provided at the end for the next review to place on the final plat. PUD Comments:	Noted, thank you.
David Dittmer PUD	ROW 1	Case number on all sheets	Revised as requested.
David Dittmer PUD	ROW 2	Revise vesting deed as it is incorrect in the legal.	Please see the state filed Articles of Amendment supplied with this submittal.
David Dittmer PUD	ROW 3	If the Planning Commission needs to hear this PUD, add their recommendation block.	FDP only goes to County Commissioners, planning has not signed FDP’s in previous filings.
David Dittmer PUD	ROW 5	Certificate of Ownership is incorrect. State correct entity owning the property Midtown LLC. Type name of signatory and title.	Revised as requested.

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David Dittmer PUD	ROW 6	Correct the Notary Affirmation as with the plats.	Revised as requested.
Cornelia Warnke Neighborhood Services Review		No Comments	Comment Acknowledged
Tyler Hopkins Metro Water Recovery	Email	Metro will need to see a sanitary sewer plan for this project.	Sanitary sewer plan was submitted with the EGR application and will be provided as part of this submittal.
Century Link	Letter	Qwest Corporation d/b/a CENTURYLINK (“CenturyLink”) has reviewed the request for the project described above and has determined that it has No Comments/No Objections.	Noted, thank you.
ACFR	Letter	See attached comment letter provided by ACFR	All comments were labeled as note only and no response was required. A construction document set will be provided to ACFR for a detailed review.
Midtown Metro District Legal	Email	Redlines provided with email	Revised as requested
Resident Letter From Brandon Best	Letter	Resident letter summary: 1) Reduced open space – 2) promised the west side would not be developed due to soil contamination 3) residents promised additional open space – 4) strongly encourages the County to push back against this proposal.	The east end of Midtown has always been planned for residential housing the PDP was revised to lower the density in this area. The proposed FDP exceeds the minimum required open space for the filing.

January 19, 2024

Layla Bajelan
Adams County Planning and Zoning
4430 South Adams County Parkway
Brighton, CO 80601

**Re: Midtown Filing 13
Written Explanation of Project**

Dear Layla Bejelan:

Please see the Midtown Filing Thirteen 2nd Final Development Plan (FDP) submittal items and responses for your review.

Midtown Filing Thirteen is intended to be a residential development in the eastern most section of the Midtown community south of W. 68th Avenue, north of the Clear Creek Corridor and is the final filing of Midtown at Clear Creek. The Final Development Plan (FDP) is comprised of approximately 13.57 acres including 5.8 acres of development, 5.77 acres of park and open space and 2.0 acres of wetland. Primary access to the FDP area is from W. 68th Ave. and W. 67th Ave. This FDP is an extension of the established block structure, vehicular circulation and landscape treatment approved and constructed throughout Midtown filings.

The proposed FDP and the corresponding Final Plat offers 79 additional alley-loaded townhomes. Two types of townhome units are proposed, both alley-loaded with front porches to the street, green court, or open space. The townhomes will consist of multiple residences that share one (1) or two (2) walls with an adjoining home. These residences will take access from a private drive and sizes of residence will vary in square footage. No accessory dwelling units are permitted within Filing Thirteen.

Filing Thirteen improvements will include a park and open space area south of the future townhomes. There will be several trail connections from the existing and future neighborhoods to the park and regional Clear Creek Corridor. The open space seeks to create a more naturalized park area to mirror the feel of the Open Space Park in Filings 12 and 6 on the western edge of the community.

The minimum required open space (30% of the site) totals 4.07 AC, the provided open space shall be 5.77 AC – exceeding the minimum requirement by 1.7 AC. Of the 30% open space (4.07 AC), 25% is required as active recreation, the minimum required active recreation is

Redland

WHERE GREAT PLACES BEGIN

1.02 AC. The FDP provides 1.11 AC of active recreation with the following uses: trails, walks, fitness stations, park plaza (seating, tables with chairs, shade, & cornhole), dog park plaza (tables with chairs & shade), dog parks (separate small and large dog enclosures and benches), two play fields (sized for volleyball), and play hill for play field observation, sledding, and rolling.

The Midtown Filing 13 FDP Park and Open Space design meets and exceeds the requirements of the approved PDP Amendment No 3

Page 3 – A 5 AC park is included on the eastern edge of Midtown to increase access to the parks and open across the community.

Page 7 - A 5.2 AC PA-7 Open space and Park shall provide Uses and character with: Concrete Trail, Dog Park, Site Furniture and Picnic area.

Based on feedback received during the Neighborhood Meeting held on October 2, 2023 the park and open space area provides various amenities such as a dog park, pocket park with open lawns for flexible play, and fitness stations. The dog park is a relocation of the existing feature currently on site, matches the current size (approximately 9,200 sf), and has been split into two areas for different sized dogs per neighborhood suggestion.

The estimated length of time for build-out of Filing Thirteen is approximately three (3) years from the time of approvals. A request for early grading permit will be submitted, with intent for County FDP and Plat approvals in the spring of 2024.

Sincerely,



Josie O'Connor, PLA
Project Manager

December 21, 2023

Anastasia Urban, P.E.
Brookfield Property Development
Project Manager, Land & Housing

Re: Water and Sanitary Sewer Service Availability

To: Anastasia Urban

Please be advised that North Pecos Water and Sanitation District is willing to provide treated water and sanitary sewer service to a possible development on parcel number:

01825044000022, 0182504400024

with the address of:

N/A

in Adams County, Colorado that is wholly within the North Pecos Water and Sanitation District boundaries.

North Pecos Water & Sanitation District has the ability to provide water and sanitary sewer service to the property known as (address), as it is currently platted (as is shown in the attached exhibit), with:

Water Sanitary Sewer

Prior to creating a layout and filing a plat for the development, the landowner/developer should have a pre-design meeting with North Pecos Water and Sanitation District, as the developer must allow for the installation of adequate water mains in strict accordance with Denver Water Engineering Standards and North Pecos Rules and Regulations and engineering requirements. Sanitary sewer mains must also be designed in accordance with North Pecos Rules and Regulations and engineering requirements.

The landowner/developer will be required to evaluate water and sanitary sewer capacities, provide utility studies, flow monitoring, easements, and install and/or upsize any water and sanitary sewer mains that may be required due to this project, in accordance with district standards, district review comments, and any approved plans. Also, if necessary, all easements must be conveyed to the District and recorded before construction can begin.

The landowner/developer is responsible for all engineering, development, plan review and construction observation costs. The district will provide a funding agreement. The landowner/developer is responsible for all costs related to the installation of required water and sewer mains. All water and sewer mains and appurtenances shall be installed at the landowner/developer's expense and deeded free and clear to the District prior to the issuance of any water or sewer taps.

Should any taps, upgrades to existing or new, be required, the property owner is responsible for all charges and fees applicable for such development. All fees and charges must be paid before review and/or construction can begin.

Current connection fees can be provided by contacting our office. Any water and/or sewer services must be approved by North Pecos Water and Sanitation District and connected to the appropriate main lines and installed into its permanent structure's foundation prior to completion of the construction of said structure.

Note: future subdivisions may require additional review and individual will serve letter(s).

North Pecos Water and Sanitation District requires a signature of acceptance of this Service Availability Letter by the landowner/developer prior to scheduling a pre-design meeting with North Pecos. Please provide a copy of this signed Water and Sanitary Sewer Service Availability when scheduling a pre-design meeting.

<small>DocuSigned by:</small>  <small>7D88200C831C48B</small>	1/4/2024
_____ Signature of owner/developer	_____ Date

If you have any questions or require additional information, please contact our office.

Sincerely,



Tony Cocozzella, District Manager
North Pecos Water & Sanitation District



Colorado Secretary of State
 Date and Time: 03/31/2011 11:15 AM
 ID Number: 20051469646
 Document number: 20111191897
 Amount Paid: \$25.00

Document must be filed electronically.
 Paper documents will not be accepted.

Document processing fee
 Fees & forms/cover sheets
 are subject to change.

\$25.00

To access other information or print
 copies of filed documents,
 visit www.sos.state.co.us and
 select Business.

ABOVE SPACE FOR OFFICE USE ONLY

Articles of Amendment

filed pursuant to §7-90-301, et seq. and §7-80-209 of the Colorado Revised Statutes (C.R.S.)

ID number: 20051469646
 1. Entity name: Carma Westminster, LLC
(If changing the name of the limited liability company, indicate name BEFORE the name change)

2. New Entity name: Midtown LLC
 (if applicable)

3. Use of Restricted Words *(if any of these terms are contained in an entity name, true name of an entity, trade name or trademark stated in this document, mark the applicable box):*

"bank" or "trust" or any derivative thereof
 "credit union" "savings and loan"
 "insurance", "casualty", "mutual", or "surety"

4. Other amendments, if any, are attached.

5. If the limited liability company's period of duration as amended is less than perpetual, state the date on which the period of duration expires:

(mm/dd/yyyy)

OR

If the limited liability company's period of duration as amended is perpetual, mark this box:

6. (Optional) Delayed effective date: _____
(mm/dd/yyyy)

Notice:

Causing this document to be delivered to the secretary of state for filing shall constitute the affirmation or acknowledgment of each individual causing such delivery, under penalties of perjury, that the document is the individual's act and deed, or that the individual in good faith believes the document is the act and deed of the person on whose behalf the individual is causing the document to be delivered for filing, taken in conformity with the requirements of part 3 of article 90 of title 7, C.R.S., the constituent documents, and the organic statutes, and that the individual in good faith believes the facts stated in the document are true and the document complies with the requirements of that Part, the constituent documents, and the organic statutes.

This perjury notice applies to each individual who causes this document to be delivered to the secretary of state, whether or not such individual is named in the document as one who has caused it to be delivered.

7. Name(s) and address(es) of the individual(s) causing the document to be delivered for filing:

Seedig	Sarah	Niemiec	
<small>(Last)</small>	<small>(First)</small>	<small>(Middle)</small>	<small>(Suffix)</small>
1200 17th Street			
<small>(Street name and number or Post Office Box information)</small>			
Suite 2400			
Denver	CO	80202	
<small>(City)</small>	<small>(State)</small>	<small>(Postal/Zip Code)</small>	
	United States		
<small>(Province – if applicable)</small>	<small>(Country – if not US)</small>		

(The document need not state the true name and address of more than one individual. However, if you wish to state the name and address of any additional individuals causing the document to be delivered for filing, mark this box and include an attachment stating the name and address of such individuals.)

Disclaimer:

This form, and any related instructions, are not intended to provide legal, business or tax advice, and are offered as a public service without representation or warranty. While this form is believed to satisfy minimum legal requirements as of its revision date, compliance with applicable law, as the same may be amended from time to time, remains the responsibility of the user of this form. Questions should be addressed to the user's attorney.

MIDTOWN FILING 13 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

NARRATIVE:

A. EXPLANATION OF CHARACTERISTICS OF THE PUD

THE FILING THIRTEEN PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (PUD-FDP) AREA AT MIDTOWN IS COMPRISED OF APPROXIMATELY 13.57 ACRES AND IS LOCATED IN THE EASTERN MOST SECTION OF THE MIDTOWN COMMUNITY SOUTH OF W 68TH AVENUE AND NORTH OF THE CLEAR CREEK CORRIDOR. THIS FDP IS AN EXTENSION OF THE ESTABLISHED BLOCK STRUCTURE, VEHICULAR CIRCULATION AND LANDSCAPE TREATMENT APPROVED AND CONSTRUCTED THROUGHOUT MIDTOWN FILINGS.

THE PROPOSED NEIGHBORHOOD OFFERS 79 ADDITIONAL ALLEY-LOADED TOWNHOMES. THE OPEN SPACE IMPROVEMENTS IN THIS FDP SEEKS TO CREATE AN ENHANCED PARK AND NATURALIZED AREA ADJACENT TO THE CLEAR CREEK CORRIDOR FOR THE GREATER MIDTOWN COMMUNITY.

B. POTENTIAL IMPACT OR PROPOSED MITIGATION ON THE SURROUNDING AREA

THE PUD-FDP IS CONSISTENT WITH THE APPROVED PRELIMINARY DEVELOPMENT PLAN (PDP). THE COMPLETED MIDTOWN PDP IS COMPRISED OF APPROXIMATELY 181.8 ACRES.

C. CONTEMPLATED INTENSITY AND DENSITY OF LAND USE

79 ATTACHED TOWNHOME USES ARE PROPOSED IN THE FILING THIRTEEN PUD-FDP AND THE CORRESPONDING FINAL PLAT. THE PROPOSED DENSITY AND LAND COVERAGE IS CONSISTENT WITH THE THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN FOR MIDTOWN.

PER THE APPROVED PDP FOR MIDTOWN, THE OVERALL NUMBER OF ALLOWABLE RESIDENTIAL UNITS IS 1,208 WITH A GROSS DENSITY OF APPROXIMATELY 6.6 DWELLING UNITS PER ACRE, FILING 13 IS PROPOSING 5.8 GROSS DWELLING UNITS PER ACRE.

D. NUMBER, TYPE, AND SIZE OF BUILDINGS AND/OR UNITS

79 ATTACHED RESIDENTIAL TOWNHOME UNITS ARE PROPOSED IN THE FILING THIRTEEN PUD-FDP AND THE CORRESPONDING FINAL PLAT. TWO TYPES OF TOWNHOME UNITS ARE PROPOSED, BOTH ALLEY-LOADED WITH FRONT PORCHES TO THE STREET, GREEN COURT OR OPEN SPACE.

THE TOWNHOMES WILL CONSISTS OF MULTIPLE RESIDENCES THAT SHARE ONE (1) OR TWO (2) WALLS WITH AN ADJOINING HOME. THESE RESIDENCES WILL TAKE ACCESS FROM A PRIVATE DRIVE AND SIZES OF RESIDENCE WILL RANGE FROM 1,500 SF TO 2,600 SF. NO ACCESSORY DWELLING UNITS ARE PERMITTED WITHIN FILING THIRTEEN.

E. PROVISIONS FOR PARKING

PER THE PDP, MIDTOWN IS REQUIRED TO PROVIDE 2.5 PARKING SPACES PER DWELLING UNIT OVERALL. FILING THIRTEEN PROVIDES 208 SPACES AT 2.6 SPACES PER UNIT. PARALLEL PARKING IS NOT ALLOWED BETWEEN THE GARAGE AND PAVED ALLEY IN FIRE ACCESS ALLEY, BUT IS PERMITTED ALONG INTERNAL ROADWAYS. REFER TO THE PARKING EXHIBIT IS ON SHEET 6.

F. CIRCULATION AND ROAD PATTERNS

FILING THIRTEEN WILL GAIN ACCESS FROM W 68TH AVE. AND W 67TH AVE. AND ALL PUBLIC STREETS SHALL MEET THE STANDARDS APPROVED AS PART OF THE PDP. THE PRIVATE DRIVES WILL ALSO PROVIDE LOOPING CIRCULATION INTERNAL TO THE NEIGHBORHOOD. ALLEYS AND PRIVATE DRIVES WILL BE USED TO ACCESS GARAGES AND PARKING FOR THE HOMES. A 26-FOOT AND 30-FOOT WIDE FIRE WIDE FIRE ACCESS ALLEYS ARE FOR PASSENGER VEHICLES, GARBAGE TRUCK ACCESS AND FIRE TRUCK ACCESS ONLY AND ALLOW FOR ALLEY-ACCESSED GARAGES.

G. OWNERSHIP AND MAINTENANCE OF COMMON AREAS

ALL COMMON AREAS WILL BE OWNED AND MAINTAINED BY THE MIDTOWN CLEAR CREEK METROPOLITAN DISTRICT ("MCCMD"). MCCMD IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS THROUGH THE DRC (DESIGN REVIEW COMMITTEE) WHICH WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. ALL LOTS SHALL NOT BE FENCED IN FILING THIRTEEN, THEREFORE MAKING FRONT LAWNS A PART OF THE OPEN SPACE OR GREEN COURTS. THE COUNTY, ITS ACCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREET AFTER DEDICATION, CONSTRUCTION AND ACCEPTANCE HAS BEEN GRANTED. ALLEYS, PRIVATE DRIVES AND LAND ABUTTING THE RIGHT-OF WAY SHALL BE PRIVATELY MAINTAINED BY MCCMD. DOG STATIONS WILL BE MAINTAINED BY MCCMD.

H. TYPE, LOCATION, EXAMPLES OF COPY AND CONSTRUCTION OF SIGNS

ENTRY MONUMENTS AT MIDTOWN ARE LOCATED AT KEY INTERSECTIONS AND CROSSINGS. THIS PUD-FDP INCLUDES NO ADDITIONAL MONUMENTATION.

I. TYPE AND ALLOCATION OF ALL USES INCLUDING PERMITTED USES, USES PERMITTED AFTER AMENDMENT TO THE PUD AND PROHIBITED USES

THE DESIGN INTENT FOR MIDTOWN IS CREATE A MIXED-USE INFILL COMMUNITY THAT INCLUDED A VARIETY OF HOME TYPES.

J. LOCATION AND TYPES OF LANDSCAPING AND MAINTENANCE PROVISIONS

THE APPROVED MIDTOWN PDP INCLUDED A VARIETY OF PARKS AND OPEN SPACES STRATEGICALLY LOCATED THROUGHOUT THE COMMUNITY. THIS PUD-FDP INCLUDES STREETScape LANDSCAPE, GREEN COURTS, AND A 5.77 ACRE PARK AND OPEN SPACE AREA. THE PARK, LANDSCAPE TRACTS, AND TREE LAWNS SHALL BE MAINTAINED BY THE MCCMD.

K. DESCRIPTION OF BUILDING ENVELOPES INCLUDING SQUARE FOOTAGE AND/OR NUMBER OF UNITS, MINIMUM BUILDING SETBACKS(S), HEIGHT AND GENERAL EXTERNAL CHARACTERISTICS

BUILDING SETBACKS, ENVELOPES, AND BUILD HEIGHT ARE BASED ON THE DEVELOPMENT STANDARDS APPROVED IN THE PDP. SHEET 7 OF THIS PUD-FDP FURTHER DESCRIBES LOT AND BUILDING STANDARDS. COMMUNITY AMENITY STRUCTURES SHALL HAVE A MINIMUM BUILDING SETBACK OF 50' MEASURED FROM RESIDENTIAL LOT AND A MAXIMUM BUILDING HEIGHT OF 28' FT.

ARCHITECTURAL DESIGN ALLOWS FOR INCORPORATION OF A VARIETY OF ARCHITECTURAL STYLES FROM CONTEMPORARY TO CRAFTSMAN OR PRAIRIE. ALL COMMUNITY DEVELOPMENT ON THE PROPERTY SHOULD COMPLY WITH THESE STANDARDS WHEN THEY ARE ADOPTED BY THE DESIGN REVIEW COMMITTEE. IN ADDITION, 3RD FLOOR OPTIONS MAY BE AVAILABLE ON SELECT UNITS AND RANCH UNITS WILL BE PERMITTED ONLY ON ZERO STEP (ACCESSIBLE) LOTS.

L. COVENANTS TO BE IMPOSED

ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES HAVE BEEN DEVELOPED FOR MIDTOWN. ALL BUILDERS AND HOME OWNERS WILL BE REQUIRED TO GO THROUGH THE DRC.

M. UTILIZATION AND LOCATION OF OUTDOOR STORAGE

ALL PROPOSED MARKETING / TEMPORARY SIGNAGE WILL BE SUBMITTED FOR APPROVAL AND MEET COUNTY SIGNAGE STANDARDS OR ORDINANCES.

N. UTILITY SERVICES

CRESTVIEW WATER AND SANITATION DISTRICT HAVE INDICATED THEY HAVE ADEQUATE CAPABILITY TO SERVE THIS PROPERTY WITH BOTH WATER AND SANITARY SEWER. XCEL ENERGY WILL PROVIDE GAS AND ELECTRIC SERVICES TO THE PROPERTY. APPROPRIATE EASEMENTS FOR ASSOCIATED IMPROVEMENTS AND UTILITY LINES ARE INCLUDED ON THE FILING THIRTEEN SUBDIVISION FINAL PLAT.

O. ESTIMATED TIME TABLE FOR DEVELOPMENT

THE ESTIMATED LENGTH OF TIME FOR BUILD-OUT OF THE FILING THIRTEEN PUD-FDP IS APPROXIMATELY THREE (3) YEARS FROM TIME OF APPROVALS. GRADING WOULD COMMENCE DIRECTLY AFTER COUNTY APPROVAL WITH AN INTENT FOR INITIAL ACCEPTANCE TO START CONSTRUCTION OCCURRING IN THE SPRING SUMMER OF 2024. FULL BUILD-OUT FOR THE MIDTOWN NEIGHBORHOOD IS APPROXIMATELY FIVE (5) TO TEN (10) YEARS.

P. ANY OTHER PERTINENT FACTORS CONCERNING THE DEVELOPMENT

ADAMS COUNTY FIRE DISTRICT WILL SERVE MIDTOWN PROPERTY EAST OF PECOS, INCLUDING FILING THIRTEEN PUD-FDP AREA.

Q. DEFINITIONS

ALLEY LOADED / REAR LOADED GARAGE: A GARAGE WITH A VEHICULAR DOOR ACCESS LOCATED ONTO AN ALLEY AT THE REAR (SOMETIMES SIDE) OF THE LOT.

R. STAGING:

STAGING WILL BE PER THE APPROVED SIA FOR FILING THIRTEEN.

PROJECT NO.	DATE	NO.	NOTES
22036.01	10/16/2023	1	1ST SUBMITTAL TO COUNTY
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**MIDTOWN FILING 13
FINAL DEVELOPMENT PLAN
WRITTEN NARRATIVE**

15 Years WHERE GREAT PLACES BEGIN

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MIDTOWN FILING 13

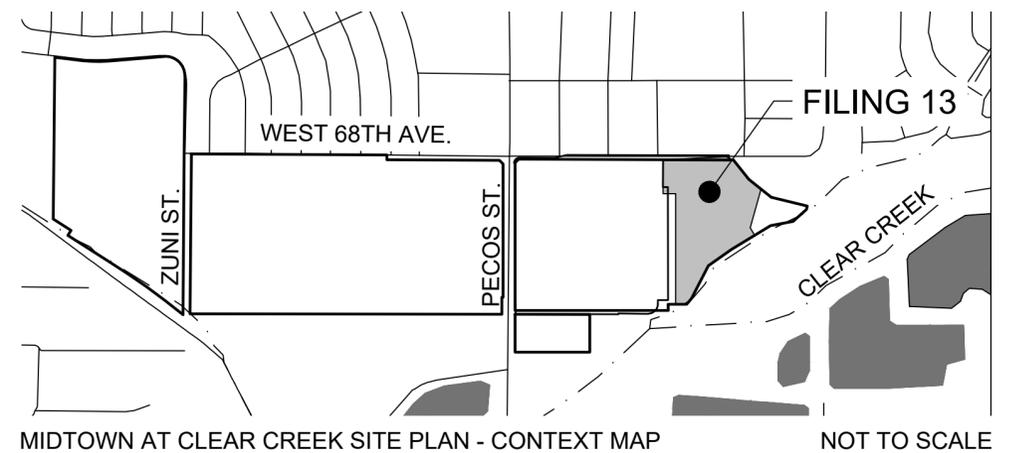
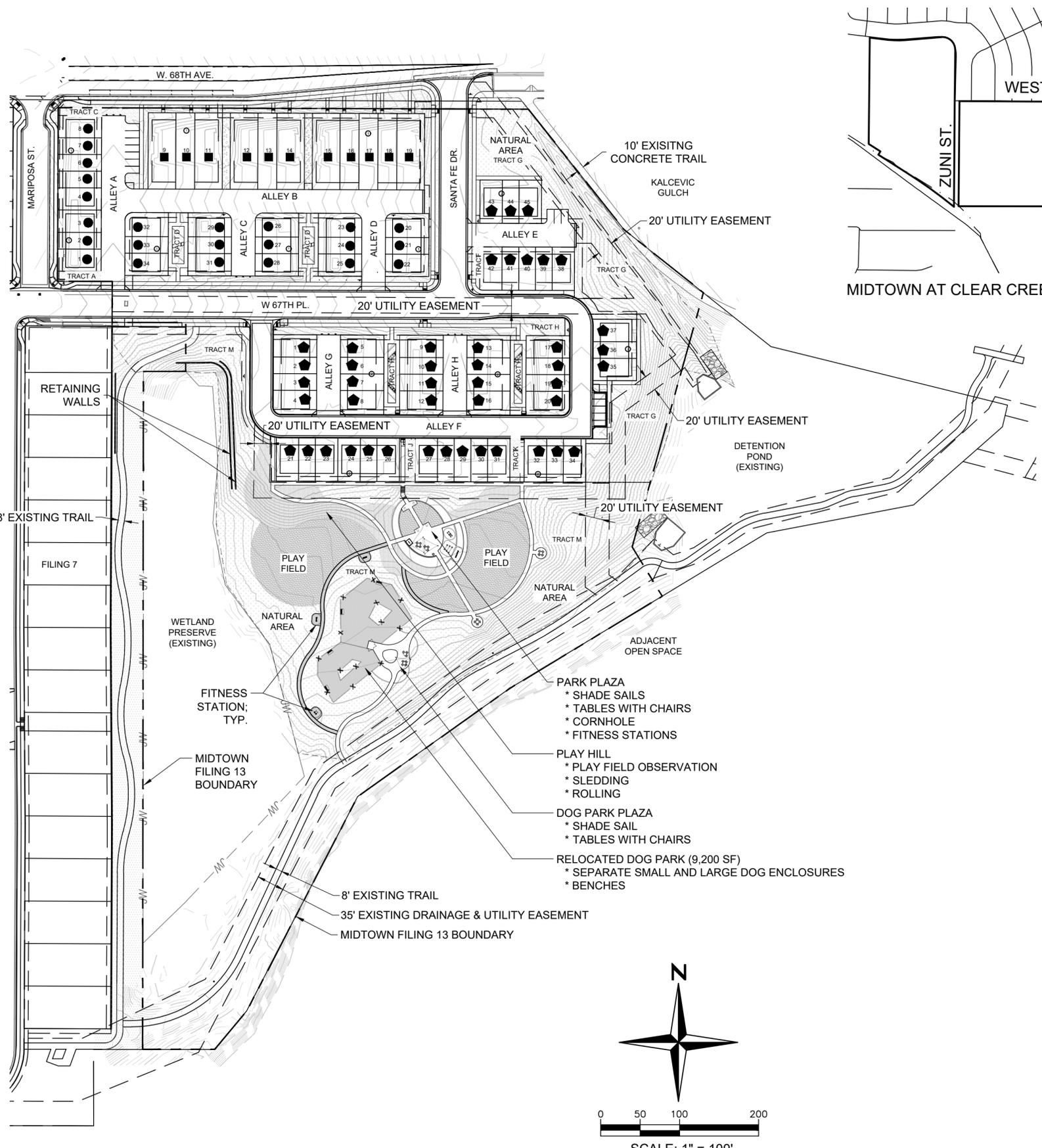
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

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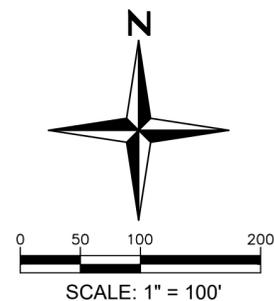


DEVELOPMENT AREA		
TOTAL DEVELOPMENT (ALL PHASES)	181.8 AC	1,208 MAX. UNITS ALLOWED
FILING 13 AREA		
PARKS AND OPEN SPACE		5.77 AC
WETLAND PRESERVE (EXISTING)		2.00 AC
DEVELOPABLE AREA		5.80 AC
TOTAL	590,905 SF	(13.57 AC)

LOT SUMMARY	
LOT TYPE	QUANTITY
ALLEY LOADED - TYPE 1 (BLOCK 1)	11
ALLEY LOADED - TYPE 2 (BLOCK 1+2)	68
TOTAL	79

PARKING COUNT		
DESCRIPTION	BLOCKS & LOTS	QUANTITY
ALLEY LOADED SINGLE FAMILY ATTACHED TOWNHOMES WITH 2 CAR GARAGE	BLOCK 1 - LOTS 1-34 BLOCK 2 - LOTS 1 - 45	158 SPACES (2 SPACES PER UNIT)
ON-STREET PARKING	W. 68TH AVE, W. 67TH PL., AND SANTA FE DR.	35 SPACES
OFF-STREET PARKING	ALLEY A, ALLEY E, ALLEY F	15 SPACES
TOTAL PARKING		208 SPACES
SPACES PER UNIT		2.63

OPEN SPACE SUMMARY: SEE SHEET 4 OF 7



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PROJECT NO: 22036.01

DATE	NO.	NOTES
10/16/2023	1	1ST SUBMITTAL TO COUNTY
01/19/2024	2	2ND SUBMITTAL TO COUNTY

MIDTOWN FILING 13
FINAL DEVELOPMENT PLAN
SITE PLAN

SHEET

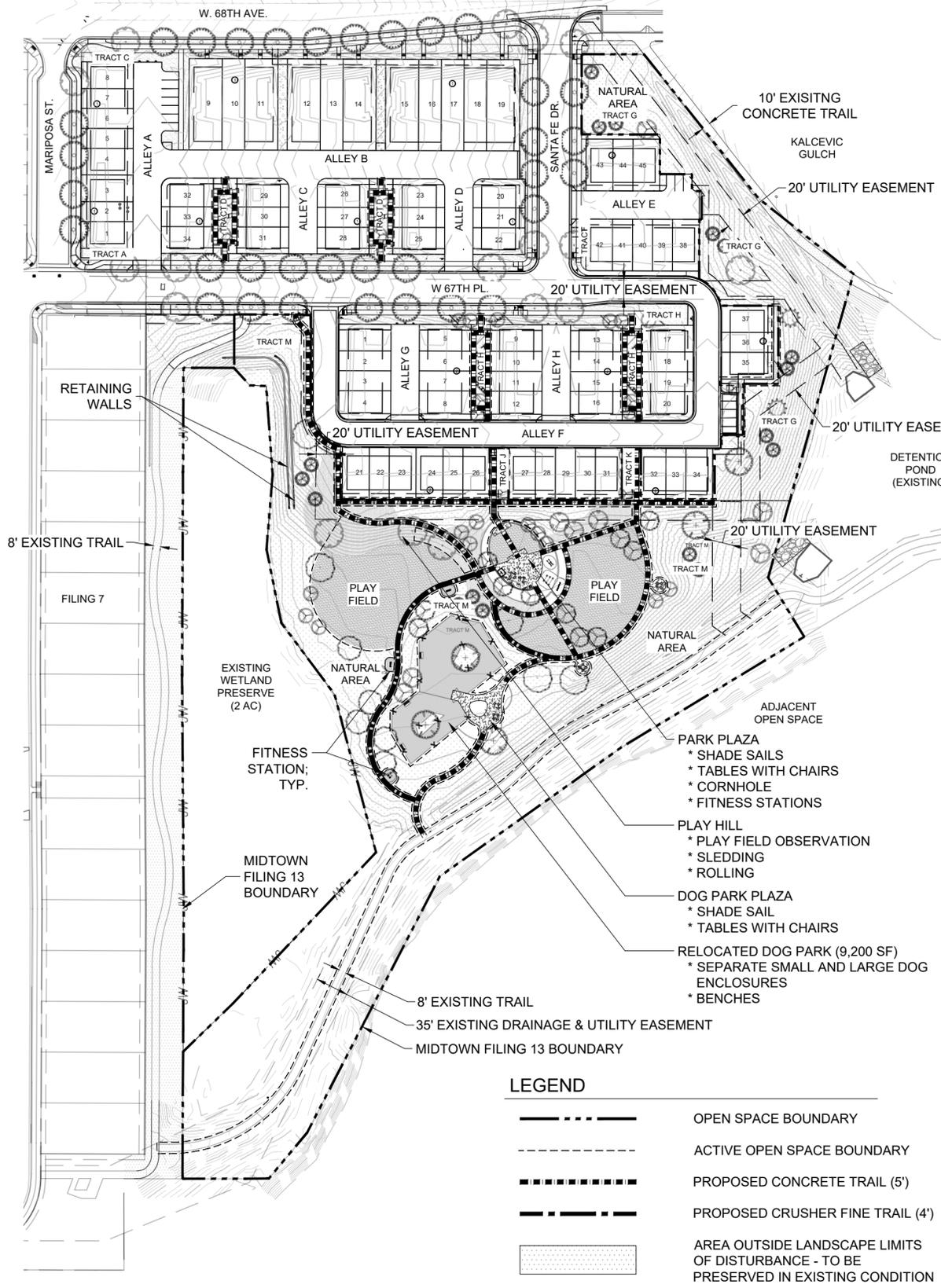
3 OF 7

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MIDTOWN FILING 13 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

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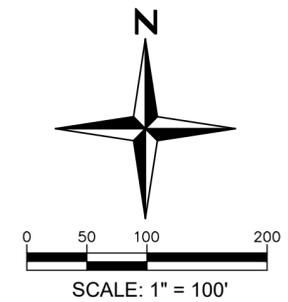


ACTIVE OPEN SPACE TOTAL	
PARK PLAZA	1,407 SF
FITNESS STATIONS	461 SF
CONCRETE TRAILS	7,290 SF
CRUSHER FINE TRAILS	1,648 SF
PLAY FIELD	23,835 SF
DOG PARK	9,206 SF
DOG PARK PLAZA	1,667 SF
SLED HILL	2,799 SF
ACTIVE OPEN SPACE TOTAL	48,313 SF
	1.11 AC

OPEN SPACE SUMMARY				
FILING ACRES	OPEN SPACE REQUIRED (30% MINIMUM)	OPEN SPACE PROVIDED	REQUIRED % OF REQUIRED OPEN SPACE AS ACTIVE RECREATION (25% MIN)	ACTIVE RECREATION PROVIDED
13.57 AC	4.07 AC (30%)	5.77 AC (43%) - (1)	1.02 AC	1.11 AC (27%) - (2)
590,905 SF	177,272 SF	251,240 SF	44,318 SF	48,313 SF

- NOTES:
- TOTAL OPEN SPACE ACREAGE PROVIDED ABOVE DOES NOT INCLUDE THE EXISTING TWO (2) ACRE WETLAND PRESERVE IN THE CALCULATION.
 - ALL CALCULATIONS ARE BASED ON ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS, WHICH REQUIRE A MINIMUM OPEN SPACE THAT IS 30% OF THE TOTAL ACREAGE, AND THAT 25% OF THE MINIMUM REQUIRED OPEN SPACE SHALL BE ACTIVE. PER THE PDP, FILING 13 SHALL HAVE A MINIMUM OF ±4.3 AC OF OPEN SPACE, AND OF THAT A MINIMUM OF 1.02 AC SHALL BE ACTIVE.
 - OPEN SPACE CONSISTS OF SODDED AREAS, STREETSIDE LANDSCAPE, AND NATIVE / NATURAL AREAS.
 - ACTIVE OPEN SPACE CONSISTS OF SITE AMENITIES, DOG PARK, WALKS, TRAILS, PLAY FIELDS, GATHERING SPACES, FITNESS AREAS, AND DOG PARK.
 - REQUIRED TREES AND SHRUBS: A MINIMUM OF ONE (1) LARGE TREE AND TWO (2) ORNAMENTAL TREES AND TWO (2) SHRUBS, SHALL BE REQUIRED FOR EACH INCREMENT OF FIFTEEN HUNDRED (1,500) SQUARE FEET IN WESTERN ADAMS COUNTY. (ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS, CHAPTER 4, 4-19-09-01-03 DWELLING, TOWNHOUSE LANDSCAPING, 3)
 - TREES/SHRUBS REQUIRED: 119/237
 - TREES/SHRUBS PROVIDED: 134/237

LEGEND	
	OPEN SPACE BOUNDARY
	ACTIVE OPEN SPACE BOUNDARY
	PROPOSED CONCRETE TRAIL (5')
	PROPOSED CRUSHER FINE TRAIL (4')
	AREA OUTSIDE LANDSCAPE LIMITS OF DISTURBANCE - TO BE PRESERVED IN EXISTING CONDITION



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PROJECT NO.	DATE	NO.	NOTES
22036.01	10/16/2023	1	1ST SUBMITTAL TO COUNTY
	01/19/2024	2	2ND SUBMITTAL TO COUNTY

**MIDTOWN FILING 13
FINAL DEVELOPMENT PLAN
OPEN SPACE**

NOT FOR CONSTRUCTION

MIDTOWN FILING 13

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

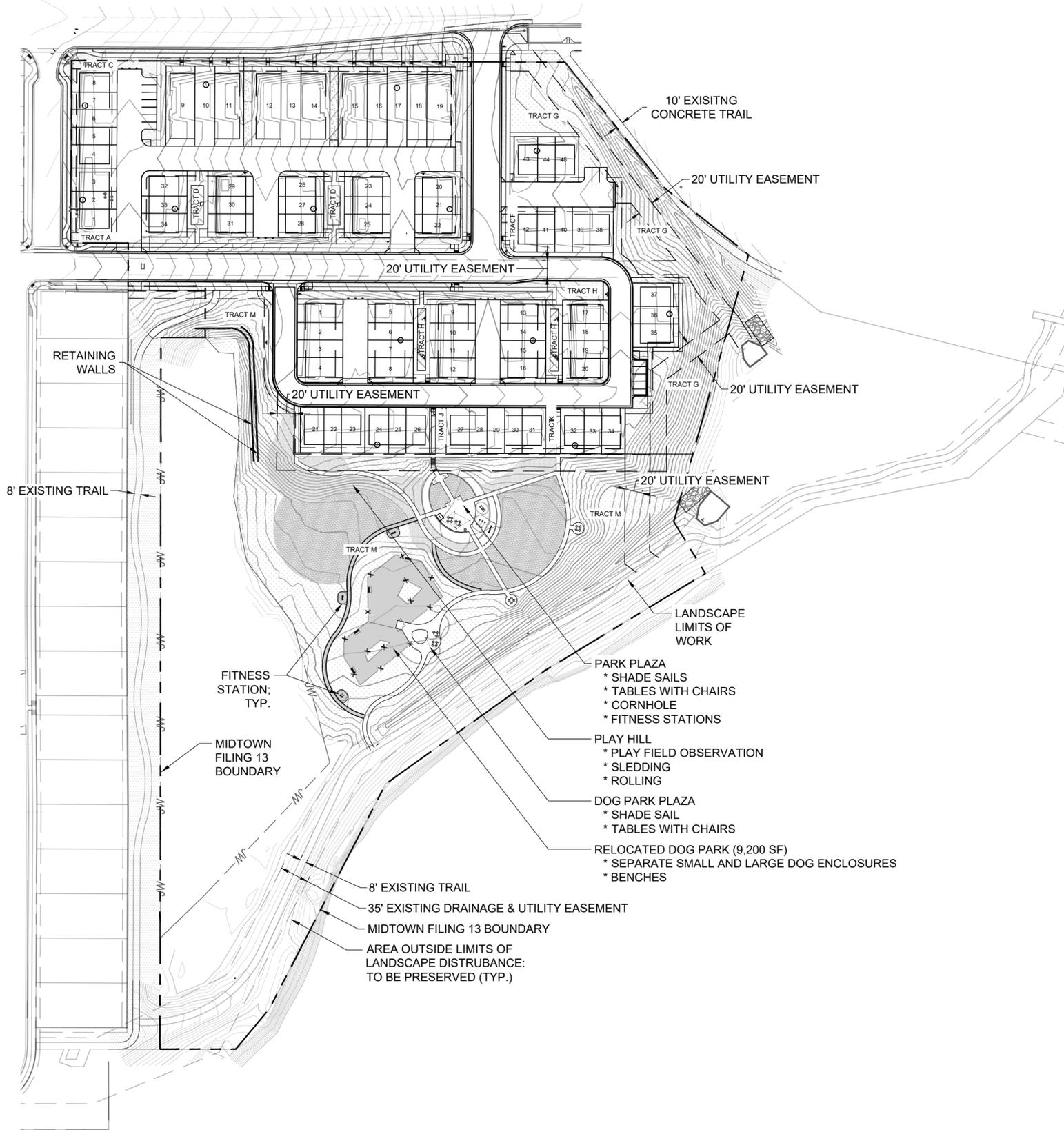
CASE NUMBER: PRC2023-00023

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

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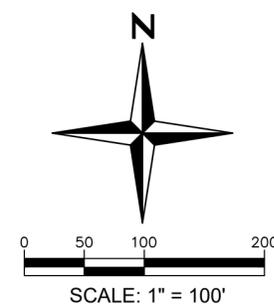
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Landscape Architecture
Civil Engineering
Construction Management



	RESPONSIBLE PARTY	
	INSTALLATION	OWNERSHIP + MAINTENANCE
ENTIRE TRACTS:		
A	BUILDER/DEVELOPER	MCCMD
B	BUILDER/DEVELOPER	MCCMD
C	BUILDER/DEVELOPER	MCCMD
D	BUILDER/DEVELOPER	MCCMD
E	BUILDER/DEVELOPER	MCCMD
F	BUILDER/DEVELOPER	MCCMD
G	BUILDER/DEVELOPER	MCCMD
H	BUILDER/DEVELOPER	MCCMD
I	BUILDER/DEVELOPER	MCCMD
J	BUILDER/DEVELOPER	MCCMD
K	BUILDER/DEVELOPER	MCCMD
M	BUILDER/DEVELOPER	MCCMD
TREE LAWNS ADJACENT TO:		
TRACT:		
C	BUILDER/DEVELOPER	MCCMD
D	BUILDER/DEVELOPER	MCCMD
H	BUILDER/DEVELOPER	MCCMD
BLOCKS:		
1	BUILDER/DEVELOPER	MCCMD
2	BUILDER/DEVELOPER	MCCMD

LANDSCAPE AND INSTALLATION MAINTENANCE NOTES:

- REFER TO THE INSTALLATION, OWNERSHIP, AND MAINTENANCE CHART AND DIAGRAMS ON THIS SHEET FOR A REPRESENTATION OF COMMON AREA INSTALLATION AND MAINTENANCE RESPONSIBILITIES.
- TREE LAWNS ARE LOCATED BETWEEN SIDEWALKS AND ROADWAYS, GENERALLY WITHIN THE RIGHT-OF-WAY. THE CHART AND DIAGRAMS ON THIS SHEET WILL SPECIFY THE PARTIES RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TREE LAWNS. IN MANY CASES, ONE PARTY MAY BE REQUIRED TO INSTALL THE TREE LAWN (E.G. THE HOMEBUILDER) BUT MAINTENANCE WILL BE PERFORMED BY ANOTHER PARTY (E.G. THE MCCMD).
- THE INSTALLATION OF LANDSCAPING, REGARDLESS OF RESPONSIBLE PARTY OR LOCATION, INCLUDES, AT A MINIMUM, THE COST AND EFFORT TO PROVIDE FOR ALL OF THE FOLLOWING: IRRIGATION WATER TAPS, PLANT MATERIAL, GROUND COVER, OTHER LANDSCAPING ELEMENTS, AND IRRIGATION INSTALLATION AS CALLED FOR ON THE PLANS.
- ONCE THE COMMON AREA LANDSCAPE IS INSTALLED AND COMPLETED, THE MCCMD WILL REVIEW THE INSTALLATION IN ACCORDANCE WITH MCCMD'S POLICIES AND PROCEDURES FOR THE ACCEPTANCE AND ACQUISITION OF PUBLIC IMPROVEMENTS. IF APPROVED, THE DISTRICT WILL THEN ACCEPT THE IMPROVEMENTS AND BEGIN THE PROCESS OF OWNING AND MAINTAINING THE LANDSCAPE FOR THE AREAS IDENTIFIED ON THIS SHEET.
- IF THE MCCMD DETERMINES THAT THE LANDSCAPE WAS NOT CORRECTLY INSTALLED, THE RESPONSIBILITY FOR ENSURING THAT THE LANDSCAPE IS CORRECTED FALLS TO THE PARTY RESPONSIBLE FOR INSTALLATION, AS SHOWN ON THE INSTALLATION CHART ON THIS SHEET.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED. WARRANTY WORK AND REPAIRS SHALL BE COMPLETED BY THE CONTRACTOR BEFORE THE MCCMD GRANTS FINAL ACCEPTANCE.
- MAINTAINING LANDSCAPES INCLUDES IRRIGATION, MOWING OF TURF AREAS, PRUNING TREES AND SHRUBS, WEED CONTROL, AND OTHER MAINTENANCE TASKS.



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PROJECT NO: 22036.01

DATE	NO.	NOTES
10/16/2023	1	1ST SUBMITTAL TO COUNTY
01/19/2024	2	2ND SUBMITTAL TO COUNTY

MIDTOWN FILING 13
FINAL DEVELOPMENT PLAN
OWNERSHIP AND MAINTENANCE

SHEET

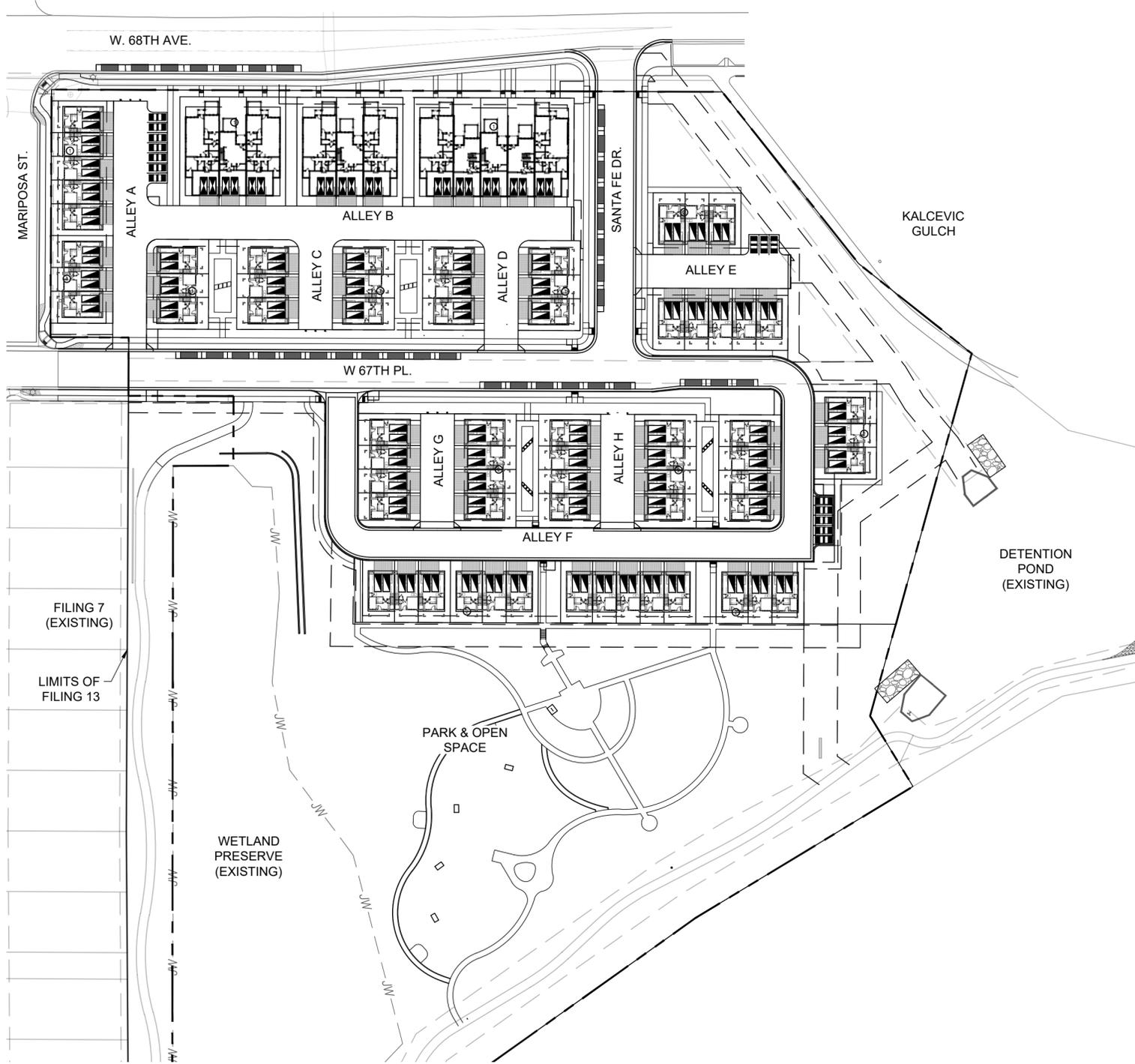
5 OF 7

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MIDTOWN FILING 13

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO



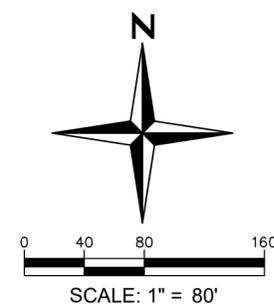
LEGEND:

- 158 SPACES - TOTAL TOWNHOME PARKING
- 136 SPACES - TYPE A TOWNHOME (TWO CAR GARAGE UNITS)
2 SPACES GARAGE
- 22 SPACES - TYPE B TOWNHOME (TWO CAR GARAGE UNITS)
2 SPACES GARAGE
- 15 SPACES - BAY PARKING (9'x18'; 9'x20')
- 35 SPACES - PARALLEL PARKING - GUEST (8'x23')

PARKING REQUIRED	
198	PER THE APPROVED PDP, MIDTOWN FILING 13 SHALL HAVE 2.5 SPACES / UNIT OVERALL (79 X 2.5)
198	TOTAL PARKING REQUIRED (2.5 SP/UNIT)

PARKING PROVIDED PER PDP REQUIREMENTS	
158	TOWNHOMES 158 SPACES (2 SPACES X 79 TWO CAR GARAGES)
35	ON STREET PARKING SPACES
15	OFF STREET PARKING SPACES
208	TOTAL PARKING SPACES (2.63 SP/UNIT)*

* PARKING PROVIDED (2.63 SP/UNIT) EXCEEDS PDP REQUIRED (2.5 SP/UNIT)



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PROJECT NO.	DATE	NO.	NOTES
22036.01	10/16/2023	1	1ST SUBMITTAL TO COUNTY
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MIDTOWN FILING 13
FINAL DEVELOPMENT PLAN
PARKING EXHIBIT

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MIDTOWN FILING 13

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

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SETBACK & HEIGHT RESTRICTIONS CHART

USE	MIN. LOT SIZE	MIN. LOT WIDTH	MAX. LOT COVERAGE	MAX. DENSITY	MIN. FRONT YARD SETBACK FROM ALL STRUCTURES ADJACENT TO:		MIN. FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE	MIN. FRONT YARD SETBACK FROM GARAGE STRUCTURE	MIN. SIDE YARD SETBACK FOR ALL STRUCTURES	MIN. REAR YARD SETBACK FOR PRINCIPAL STRUCTURES EXCLUDING GARAGES	MIN. REAR YARD SETBACK FOR DETACHED ACCESSORY STRUCTURES		MIN. REAR YARD SETBACK TO GARAGE DOOR FACE FOR ALLEY LOAD HOMES		MAX. BUILDING HEIGHT	COMMUNITY AMENITY BUILDING			
					Arterial	Collector See Note 6					13' ALLEY	20' ALLEY	13' ALLEY	20' ALLEY		MIN. COMMUNITY AMENITY BUILDING SETBACK	MAX. COMMUNITY AMENITY STRUCTURE HEIGHT		
SINGLE FAMILY ATTACHED TOWNHOME WITH REAR LOADED GARAGE	1,000 SF	15'	80%	16 DU/ACRE	20'	15'	10'	10'	5' EXTERIOR WALL 0' COMMON WALL	15'	8'	4.5'	13' ALLEY	20' ALLEY	8'	4.5'	45'	50'	28'

THE PROPOSED SETBACK AND HEIGHT RESTRICTIONS ARE DUPLICATED FROM THE SECOND AMENDMENT TO THE PDP FOR THE MIDTOWN PUD AS APPLICABLE TO FILING 13.

NOTES:

(REFERENCES COPIED FROM THE SECOND AMENDMENT TO THE PDP)

- SIDE SETBACKS MAY BE REDUCED TO NO LESS THAN 3' AS MEASURED FROM THE FINISHED MATERIAL OF THE EXTERIOR WALL TO THE PROPOERTY LINE. WHEN REDUCED TO LESS THAN 5' AS MEASURED FROM THE FINISHED MATERIAL OF THE EXTERIOR WALL TO THE PROPERTY LINE, THE THEN CURRENT IBC AND/OR IRC CODE REQUIREMENTS AND AMENDMENTS WITHIN THE GOVERNING MUNICIPALITY WILL BE ENFORCED WITH REGARD TO EXTERIOR WALL FIRE-RESISTANT RATING AND MINIMUM FIRE-SEPARATION DISTANCE REQUIREMENTS.
- SETBACKS WILL FOLLOW LOCAL STREET STANDARDS ON W. 68TH AVE.
- BUILDING HEIGHT EXCLUDED PARAPETS AND OTHER ARCHITECTURAL TREATMENTS THAT SCREEN ROOFTOP MECHANICAL EQUIPMENT FROM VIEW. THESE ITEMS ARE SUBJECT TO HEIGHT LIMITATIONS AS DEEMED APPROPRIATE DURING THE DEVELOPMENT REVIEW PROCESS.
- BAY WINDOWS, CANTILEVERS, CHIMNEYS, EXTERIOR POSTS/COLUMNS, SOLAR PANELS, MECHANICAL EQUIPMENT, LIGHT FIXTURES, BALCONIES, STAIRS AND OTHER SIMILAR ARCHITECTURAL FEATURES ARE ALLOWED TO EXTEND OUTWARD FROM THE PRINCIPAL IN FRONT, SIDE, AND REAR YARDS. IN NO INSTANCE MAY AN ENCROACHMENT CROSS THE PROPERTY LINE OR BE LOCATED LESS THAN SIX FEET FROM THE FINISHED MATERIAL OF THE

ENCROACHMENT TO THE ADJACENT PROPERTY. WHEN AN ENCROACHMENT IS LESS THAN 5' FROM THE PROPERTY LINE, THEN THE CURRENT IBC AND/OR IRC CODE REQUIREMENTS AND AMENDMENTS WITHIN THE GOVERNING MUNICIPALITY WILL BE ENFORCED WITH REGARD TO EXTERIOR WALL FIRE-RESISTANT RATING AND MINIMUM FIRE SEPARATION DISTANCE REQUIREMENTS.

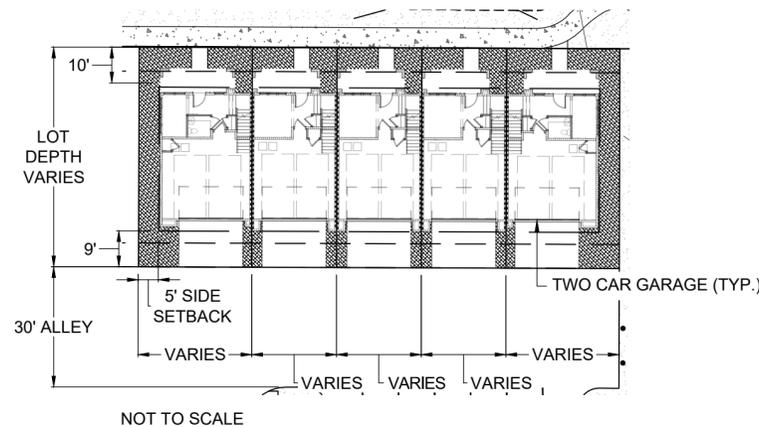
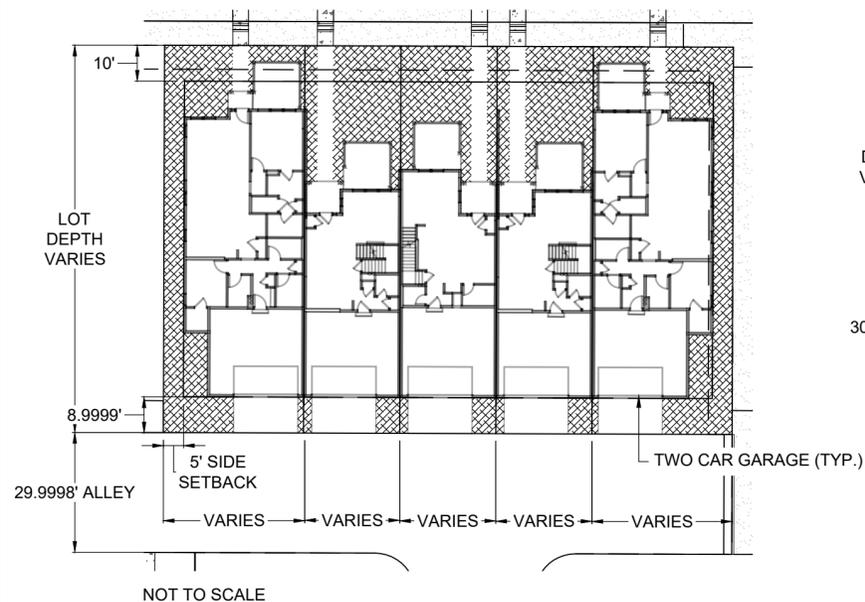
- SETBACK MEASURED FROM RIGHT-OF-WAY/PROPERTY LINE TO THE BUILDING PLANE OF THE LIVABLE SPACE, COMMERCIAL SPACE OR OTHER NON-GARGE DOOR SIDE OF A BUILDING. SIDE LOADED GARAGES AND NON-LIVABLE SPACES SUCH AS COVERED PORCHES AND COURTYARDS CAN ENCROACH INTO A SETBACK UP TO 5' PROVIDED THE ENCROACHMENT IS NOT WITHIN THE PUBLIC RIGHT-OF-WAY OR TRANSPORTATION AND UTILITY EASEMENTS.
- THE MINIMUM SETBACK OF A SIDE LOADED GARAGE IS DEFINED FROM THE RIGHT-OF-WAY / PROPERTY LINE TO THE STREET FACING BUILDING PLANE/
- PORTIONS OF THE FOUNDATIONS AND CORRESPONDING ELEVATIONS FOR FRONTS OF HOMES DESIGNED TO ACHIEVE THE DESIRED "ZEST" CHARACTER ARE PERMITTED TO ENCROACH INTO THE FRONT SETBACK AREA UP TO 3'. "ZEST" CHARACTER MAY BE ACHIEVED BY ANGLING A PORTION OF THE BUILDING FOUNDATION, PROJECTING A PORTION OF THE BUILDING FOUNDATION OR A CHANGE IN THE MATERIAL IN THE BUILDING FACADE.

MIDTOWN ARCHITECTURE CHARACTER:

MIDTOWN WILL PROVIDE A "FRESH ARCHITECTURAL CHARACTER" FOR THE FRONT RANGE RESIDENTIAL OFFERINGS. HARNESSING OUR "FREE-RANGE SPIRIT", THE TRADITIONAL CRAFTSMAN, PRAIRIE, AND FARMHOUSE ROOTS WILL EVOLVE INTO INNOVATIVE STYLES FOR THE NEW DEVELOPMENT THAT SIMULTANEOUSLY BLENDS WITH THE ESTABLISHED MIDTOWN CHARACTER. SIMPLE FORMS, RICH COLORS, AND ARTFUL DETAILS WILL COMBINE TO CREATE DISTINCTIVE AND REASONABLY PRICED HOMES. REFERENCE THE APPROVED SECOND AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN FOR FURTHER INFORMATION.

THE FOLLOWING ARE THE PRODUCT TYPES PROPOSED IN THIS FDP. TYPICAL PRODUCT IMAGE AND PLAN VIEWS ARE A REPRESENTATION OF ARCHITECTURE CHARACTER AND FORM: FINAL ARCHITECTURE MAY VARY. LOT LAYOUT IS CONCEPTUAL.

REAR-LOADED TOWNHOME PLAN VIEW



PROJECT NO.	DATE	NO.	NOTES
22036.01	10/16/2023	1	1ST SUBMITTAL TO COUNTY
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MIDTOWN FILING 13
FINAL DEVELOPMENT PLAN
ARCHITECTURAL STANDARDS

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PROJECT TEAM

OWNER / DEVELOPER

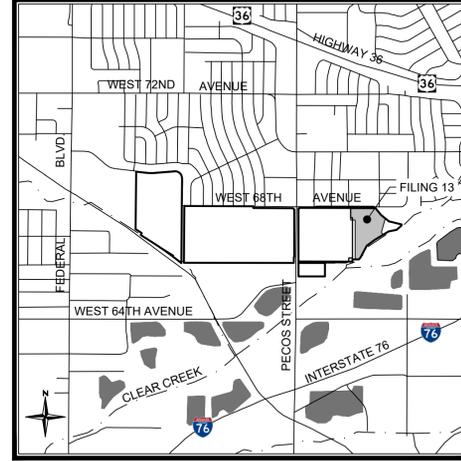
Midtown, LLC
 6465 S. Greenwood Village Blvd., Suite 700
 Centennial, Colorado 80111
 303.790.6613 voice
 Contact: Anastasia Urban
 Email: anastasia.urban@brookfieldpropertiesdevelopment.com

CIVIL ENGINEER

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 Email: erumney@redland.com

PLANNER/LANDSCAPE ARCHITECT

Redland
 1500 W. Canal Ct., Bldg A
 Littleton, Colorado 80120
 303.283.6783 voice
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 Email: swade@redland.com



VICINITY MAP
 1" = 2000'

Sheet List Table

Sheet Number	Sheet Title
L1.0	LA COVER SHEET
L1.1	NOTES AND PLANT SCHEDULE
L1.2	NOTES AND PLANT SCHEDULE
L2.0	OVERALL LANDSCAPE PLAN
L2.1	DETAILED LANDSCAPE PLAN
L2.2	DETAILED LANDSCAPE PLAN
L2.3	DETAILED LANDSCAPE PLAN
L2.4	DETAILED LANDSCAPE PLAN
L2.5	DETAILED LANDSCAPE PLAN
L3.0	LANDSCAPE TYPICALS
L3.1	LANDSCAPE TYPICALS
L4.0	LANDSCAPE DETAILS
L4.1	LANDSCAPE DETAILS
L4.2	LANDSCAPE DETAILS

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NOTES

NO.

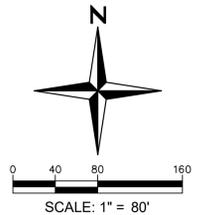
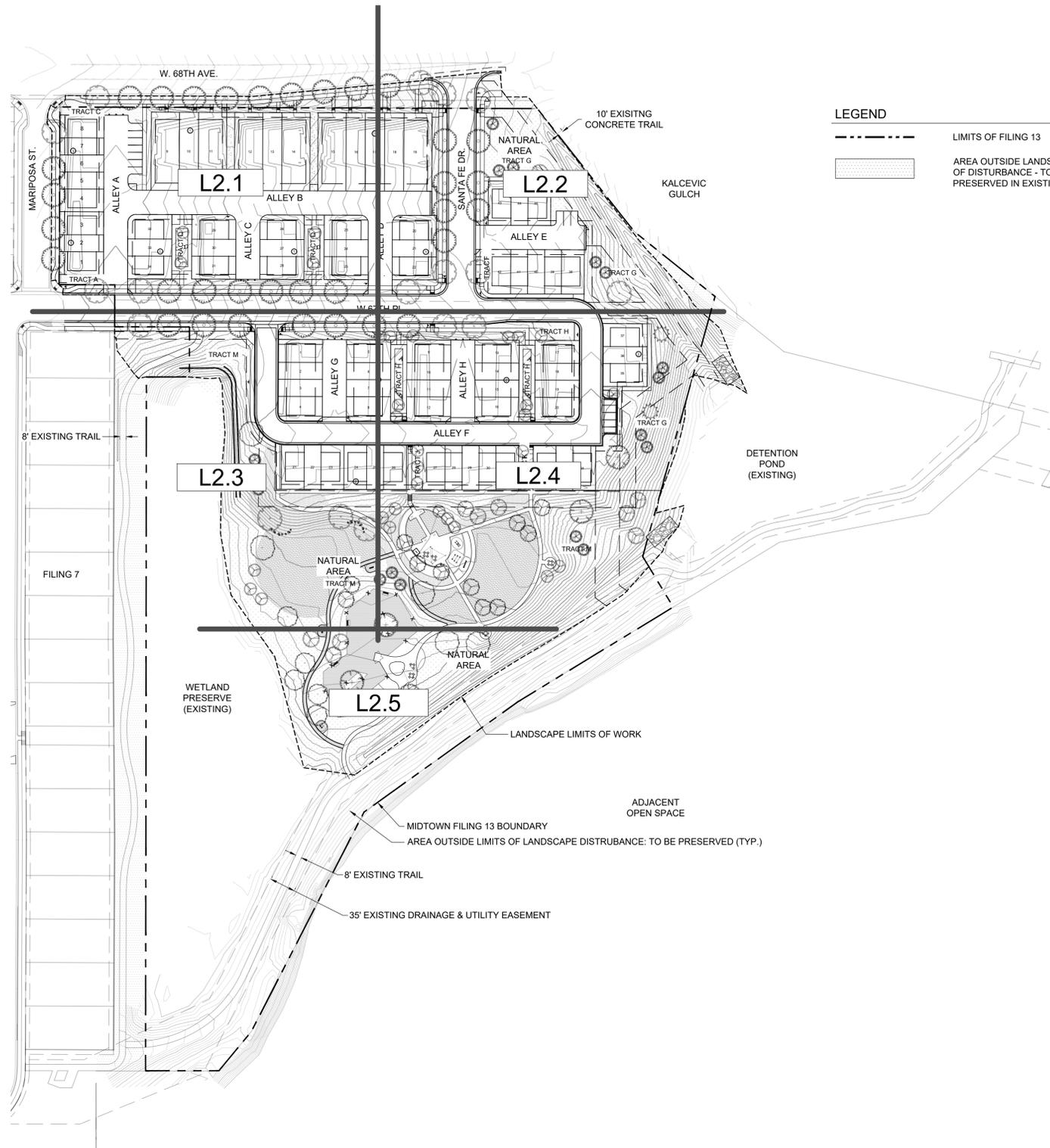
DATE

**MIDTOWN - FILING 13
 CONSTRUCTION DOCUMENTS
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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	BOA	5	Quercus macrocarpa	Burr Oak	2" Cal.	B&B
	EOA	33	Quercus robur	English Oak	2" Cal.	B&B
	FE	5	Ulmus x 'Frontier'	Frontier Elm	2" Cal.	B&B
	HAC	5	Celtis occidentalis	Common Hackberry	2" Cal.	B&B
	ROA	17	Quercus rubra	Red Oak	2" Cal.	B&B
EVERGREEN TREES						
	AUS	17	Pinus nigra	Austrian Pine	6' Ht.	B&B
	PE	2	Pinus edulis	Pinyon Pine	6' Ht.	B&B
ORNAMENTAL TREES						
	PPM	32	Acer tataricum 'Patdell'	Pattern Perfect® Tatarian Maple	1.5" Cal.	B&B
	QS	11	Quercus robur 'Fastigiata'	Skyrocket® English Oak	1.5" Cal.	B&B
	RAD	3	Malus x 'Radiant'	Radiant Crabapple	1.5" Cal.	B&B
	WAS	7	Crataegus phaenopyrum	Washington Hawthorn	1.5" Cal.	B&B
DECIDUOUS SHRUBS						
	FER	5	Chamaebatiaria millefolium	Fernbush	#5	Pot
	PMA	76	Potentilla megalantha	Cinquefoil	#5	Pot
	SNB	73	Symphoricarpos oreophilus	Mountain Snowberry	#5	Pot
	VAL	3	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Viburnum	#5	Pot
	WSC	8	Prunus besseyi	Western Sand Cherry	#5	Pot
EVERGREEN SHRUBS						
	MPA	72	Arctostaphylos x coloradoensis 'Panchito'	Panchito Manzanita	#5	Pot
ORNAMENTAL GRASSES						
	AVG	214	Helictotrichon sempervirens	Blue Avena	#1	Pot
	PDG	64	Sporobolus heterolepis	Prairie Dropseed	#1	Pot
PERENNIALS						
	CPM	282	Echinacea purpurea 'Magnus'	Purple Coneflower	#1	Pot

NATIVE SEED MIXES:

- NATIVE SEED TYPE 1:**
- 40% LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM) 15 LBS./ACRE
 - 20% SIDE OATS GRAMA (BOUPELOUA CURTIPENDULA) 10 LBS./ACRE
 - 20% BLUE GRAMA (BOUPELOUA GRACILIS) 3 LBS./ACRE
 - 20% BUFFALOGRASS (BUCHLOE DACTYLOIDES) 12 LBS./ACRE

- NATIVE SEED TYPE 2 - SHORTGRASS:**
- 60% BUFFALOGRASS (BUCHLOE DACTYLOIDES) 37 LBS./ACRE
 - 40% BLUE GRAMA (BOUPELOUA GRACILIS) 8 LBS./ACRE

TURF SOD BLEND: SOD

- COMMON NAME:**
- 90/10 FESCUE MIX 90%
 - 90 FESCUE 10%
 - 10 BLUEGRASS
- TOTAL: 100%

LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT A MINIMUM OF 5.0 CU.YRDS/1,000SF, UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS.
- SHRUB BEDS ARE TO BE MULCHED WITH 3" MIN. DEPTH 3/8" ANGULAR ROCK MULCH OR CRUSHER FINES OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
- SHRUB BEDS ARE TO BE CONTAINED BY EITHER 3/8" MIN. THICK METAL EDGER OR SPADE DUG EDGER. EDGER IN NOT REQUIRED WHEN ADJACENT TO CURBS OR WALKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. QUANTITIES REPRESENTED GRAPHICALLY TAKE PRECEDENCE OVER LABELS.
- CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING OF CONSTRUCTION. THE UTILITIES SHOWN HEREON CONTAIN ONLY GENERAL INFORMATION AS TO THEIR DESCRIPTION, NATURE, AND GENERAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OF EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
- LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS UNLESS OTHERWISE NOTED. 20% OF NATIVE SEED TO BE IRRIGATED.

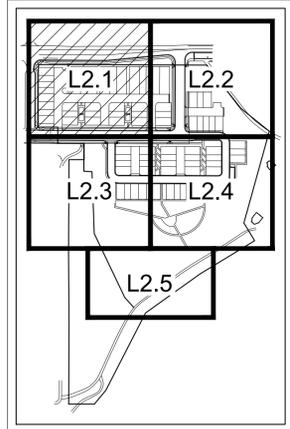
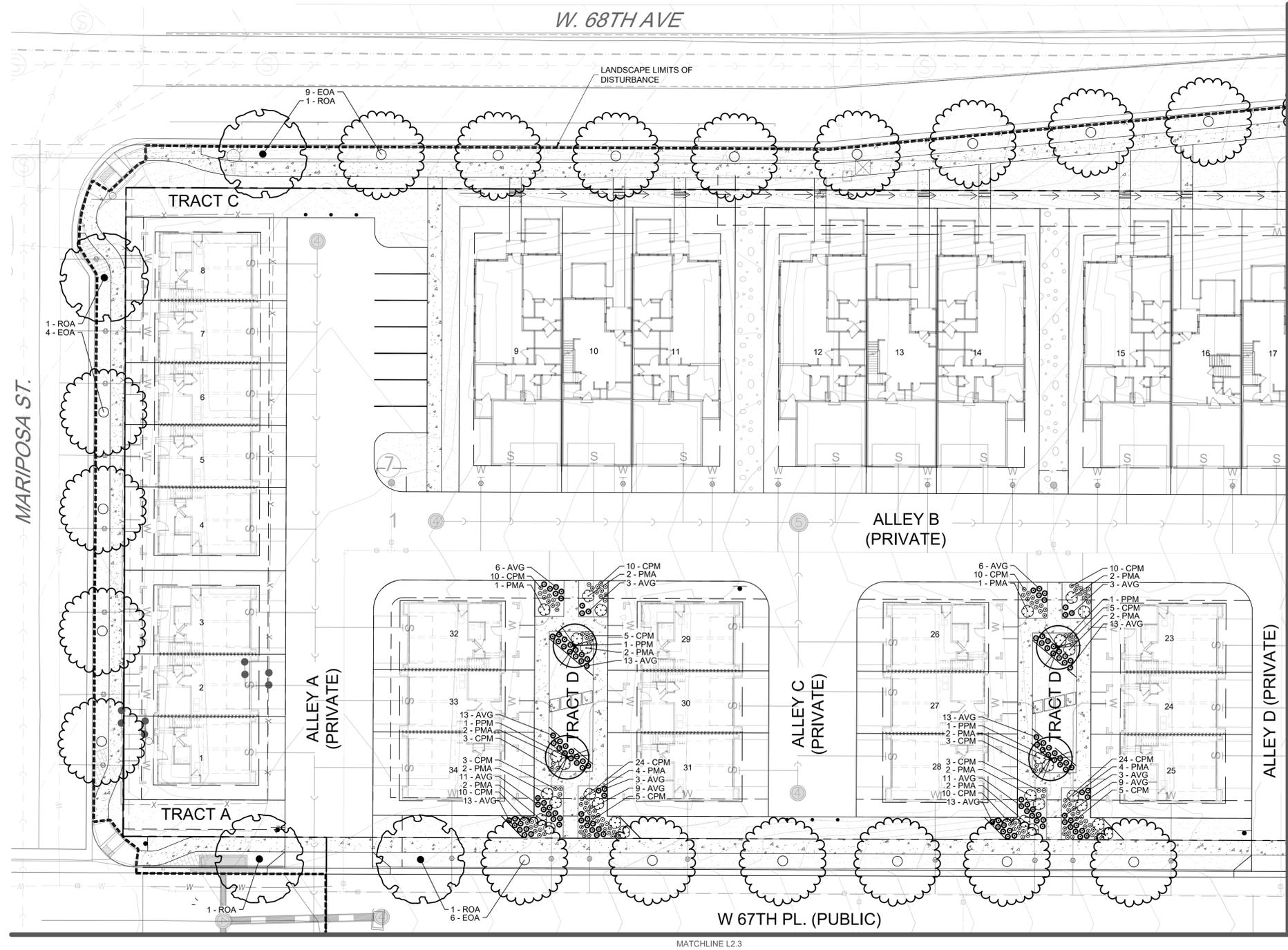
15 Redland YEARS
WHERE GREAT PLACES BEGIN
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PROJECT NO.	DATE	NO.	NOTES
080011030	01/19/2024	1	SUPPLEMENTAL LA 2ND CITY REVIEW

MIDTOWN - FILING 13
CONSTRUCTION DOCUMENTS
OVERALL LANDSCAPE PLAN

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KEY MAP

LEGEND

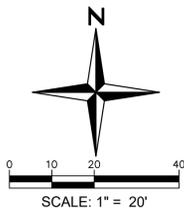
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	R.O.W.
	LOT LINE
	EASEMENT LINE
	FIRE ACCESS EASEMENT
	ROAD CENTERLINE
	CURB AND GUTTER; SEE CIVIL
	SIDEWALK; SEE CIVIL
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING FIBER OPTICS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	LANDSCAPE EDGER
	SWALE
	FENCE
	LANDSCAPE LIMITS OF DISTURBANCE
	RETAINING WALL
	PROPOSED STREET LIGHT
	DOG WASTE DISPOSAL
	BENCH
	TABLE AND CHAIRS
	PROPOSED ROCK COBBLE
	WOOD MULCH (NOT HATCHED)
	SHORTGRASS NATIVE SEED MIX
	STANDARD NATIVE SEED MIX
	EXISTING WETLAND
	TURF SOD
	CRUSHER FINES
	AREA OUTSIDE LANDSCAPE LIMITS OF DISTURBANCE; TO BE PRESERVED

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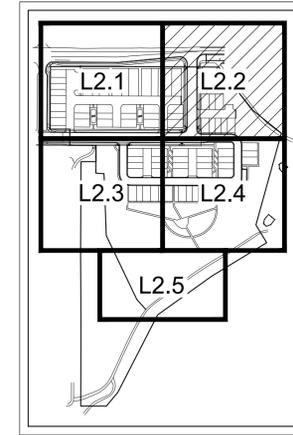
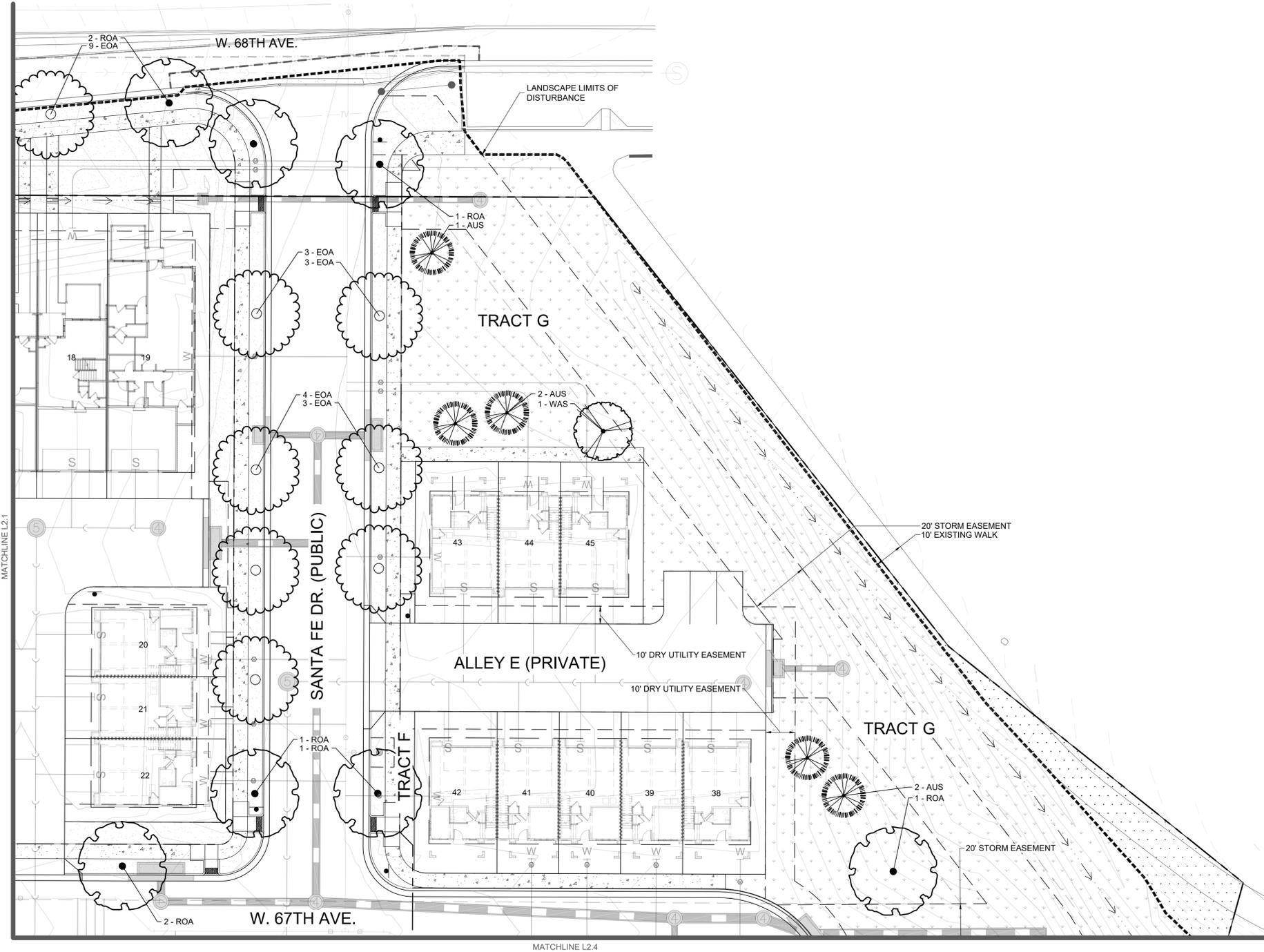
NOT FOR CONSTRUCTION

PROJECT NO.	NO.	NOTES
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MIDTOWN - FILING 13
 CONSTRUCTION DOCUMENTS
DETAILED LANDSCAPE PLAN



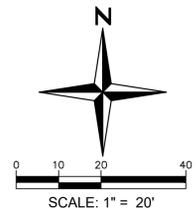
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KEY MAP

LEGEND

- PROPERTY LINE
- - - R.O.W.
- LOT LINE
- - - EASEMENT LINE
- - - FIRE ACCESS EASEMENT
- - - ROAD CENTERLINE
- - - CURB AND GUTTER; SEE CIVIL
- - - SIDEWALK; SEE CIVIL
- - - EXISTING WATER LINE
- - - EXISTING GAS LINE
- - - EXISTING TELEPHONE LINE
- - - EXISTING FIBER OPTICS LINE
- - - EXISTING OVERHEAD ELECTRIC LINE
- - - PROPOSED STORM SEWER
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- - - PROPOSED WATER LINE
- - - LANDSCAPE EDGER
- - - SWALE
- - - FENCE
- - - LANDSCAPE LIMITS OF DISTURBANCE
- - - RETAINING WALL
- - - PROPOSED STREET LIGHT
- - - DOG WASTE DISPOSAL
- - - BENCH
- - - TABLE AND CHAIRS
- PROPOSED ROCK COBBLE
- WOOD MULCH (NOT HATCHED)
- ▨ SHORTGRASS NATIVE SEED MIX
- ▩ STANDARD NATIVE SEED MIX
- ▧ EXISTING WETLAND
- ▦ TURF SOD
- ▤ CRUSHER FINES
- ▥ AREA OUTSIDE LANDSCAPE LIMITS OF DISTURBANCE TO BE PRESERVED

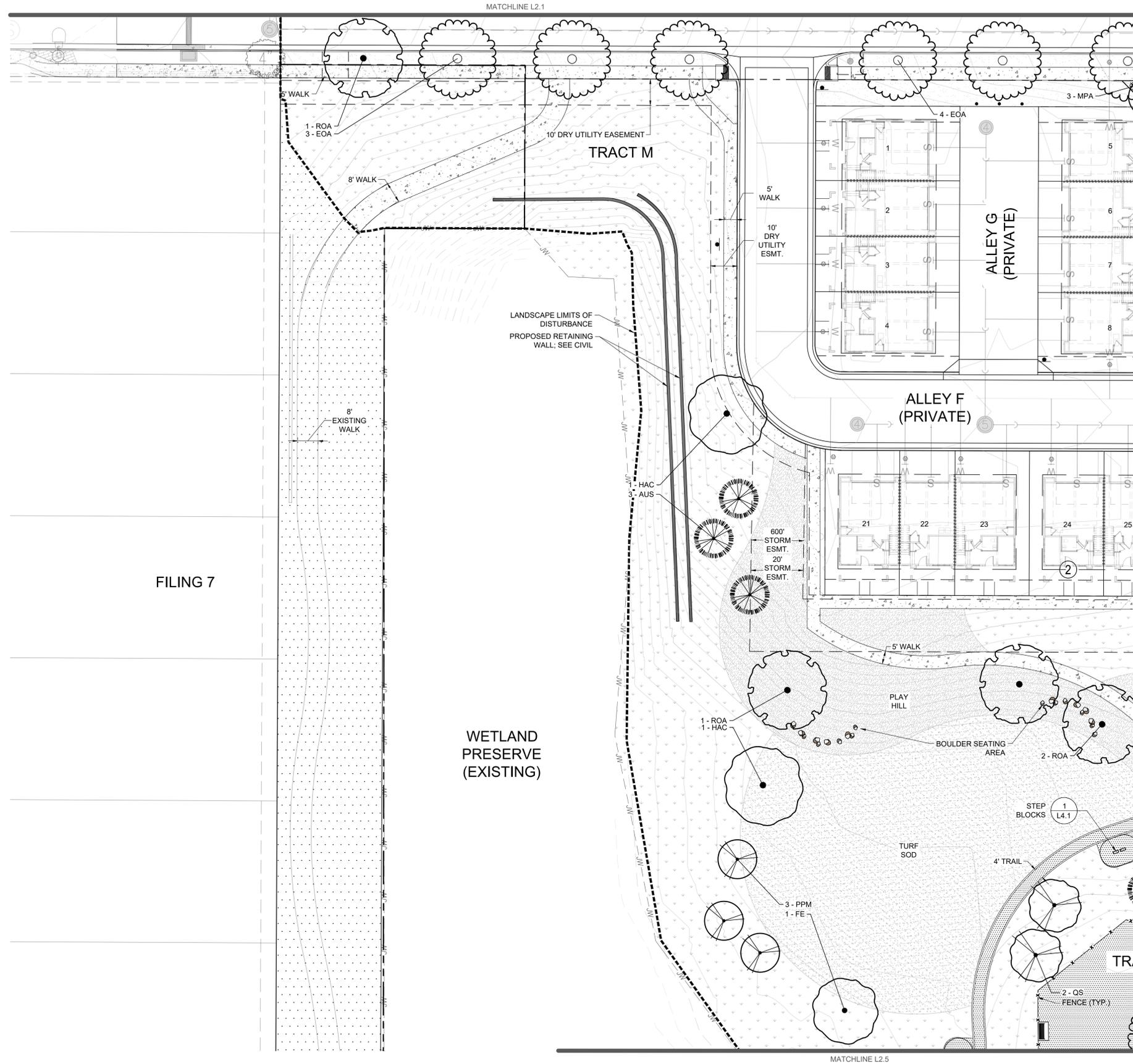


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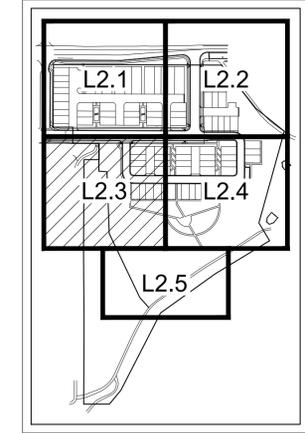
PROJECT NO.	NO.	DATE	NOTES
08001030	1	01/19/2024	SUPPLEMENTAL LA 2ND CITY REVIEW

MIDTOWN - FILING 13
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DETAILED LANDSCAPE PLAN

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FILING 7



KEY MAP

LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- FIRE ACCESS EASEMENT
- ROAD CENTERLINE
- CURB AND GUTTER; SEE CIVIL
- SIDEWALK; SEE CIVIL
- EXISTING WATER LINE
- EXISTING GAS LINE
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- EXISTING WETLAND
- TURF SOD
- CRUSHER FINES
- AREA OUTSIDE LANDSCAPE LIMITS OF DISTURBANCE; TO BE PRESERVED



SCALE: 1" = 20'

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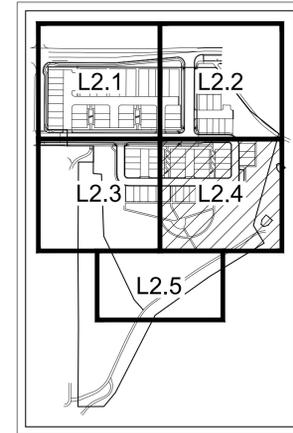
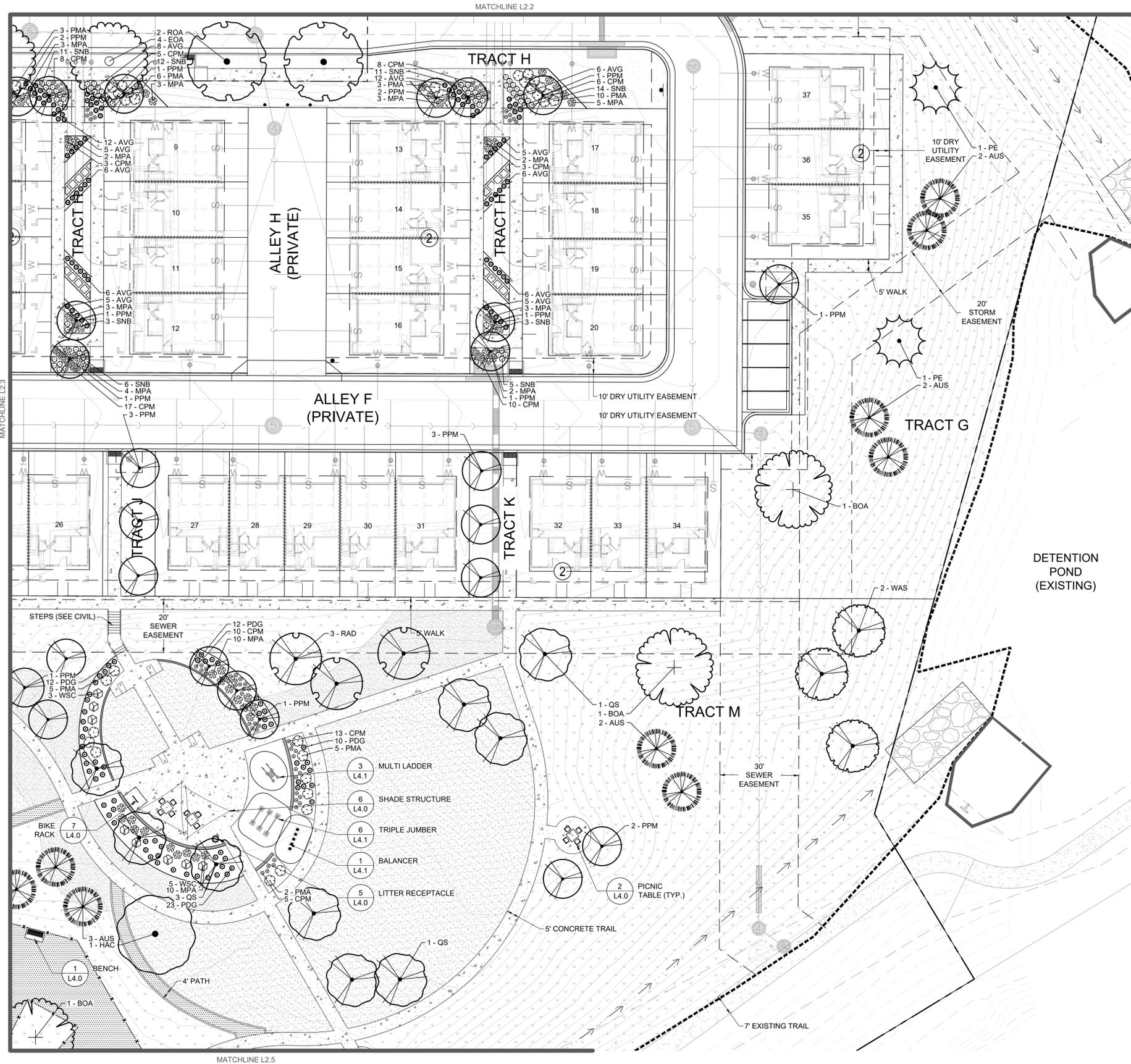
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PROJECT NO.	DATE	NO.	NOTES
06001.030	07/19/2024	1	SUPPLEMENTAL LA 2ND CITY REVIEW

MIDTOWN - FILING 13
CONSTRUCTION DOCUMENTS
DETAILED LANDSCAPE PLAN

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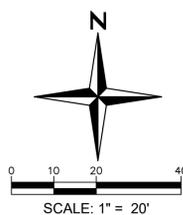
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KEY MAP

LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- FIRE ACCESS EASEMENT
- ROAD CENTERLINE
- CURB AND GUTTER; SEE CIVIL
- SIDEWALK; SEE CIVIL
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- AREA OUTSIDE LANDSCAPE LIMITS OF DISTURBANCE, TO BE PRESERVED



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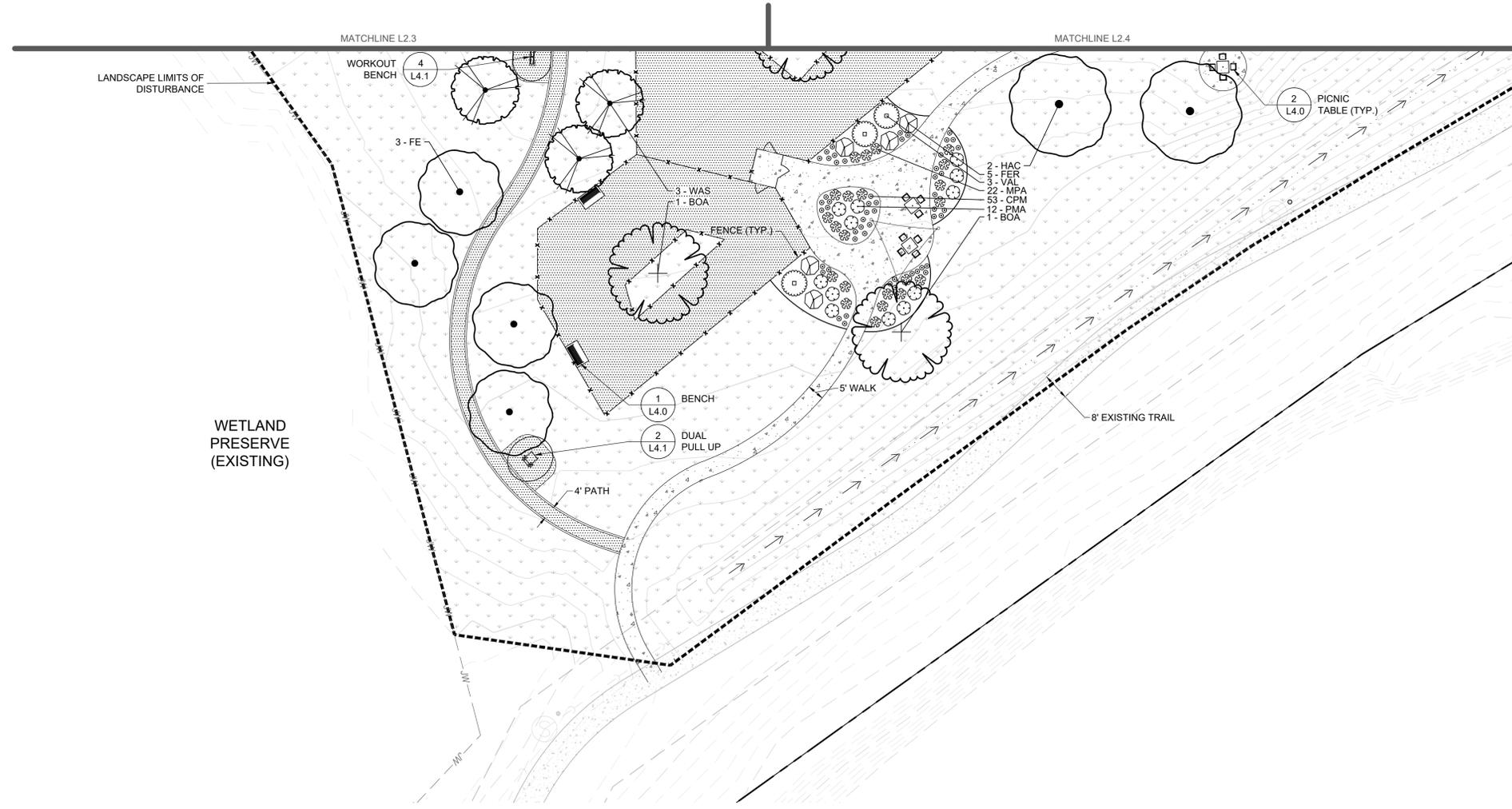
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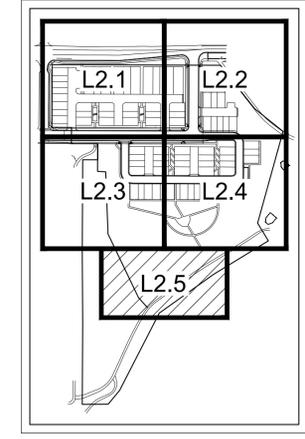
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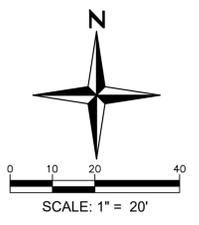
WETLAND PRESERVE (EXISTING)



KEY MAP

LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	EASEMENT LINE
	FIRE ACCESS EASEMENT
	ROAD CENTERLINE
	CURB AND GUTTER; SEE CIVIL
	SIDEWALK; SEE CIVIL
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	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING FIBER OPTICS LINE
	EXISTING OVERHEAD ELECTRIC LINE
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	TURF SOD
	CRUSHER FINES
	AREA OUTSIDE LANDSCAPE LIMITS OF DISTURBANCE TO BE PRESERVED



15 YEARS WHERE GREAT PLACES BEGIN
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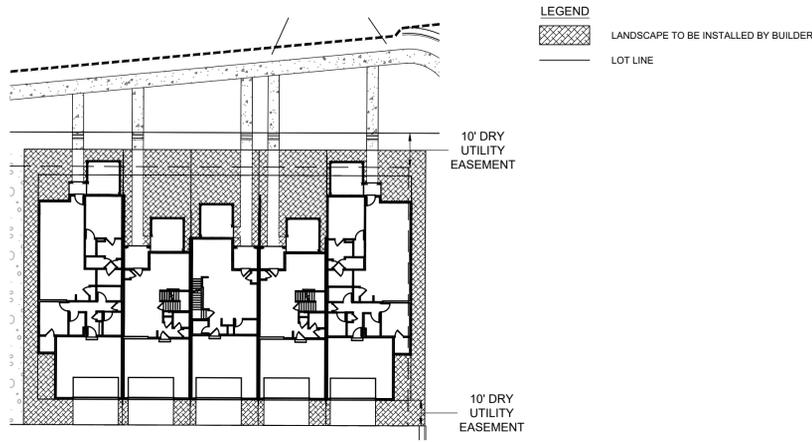
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MIDTOWN - FILING 13
 CONSTRUCTION DOCUMENTS
DETAILED LANDSCAPE PLAN

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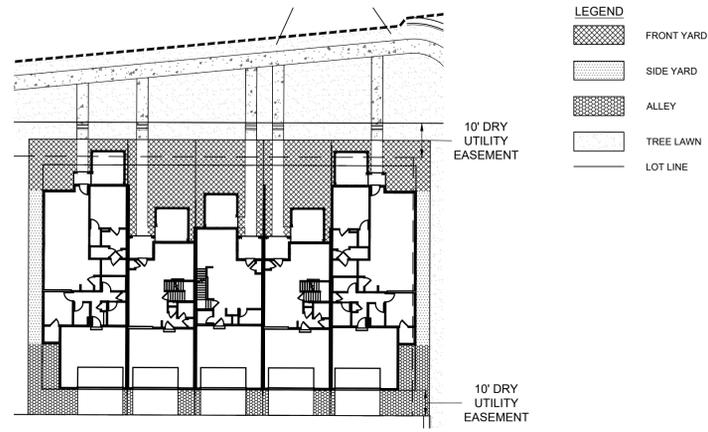
REAR-LOADED TOWNHOME LOT TYPICAL - LANDSCAPE INSTALLING AND MAINTENANCE REQUIREMENTS N.T.S.

REAR-LOADED TOWNHOME CONDITION



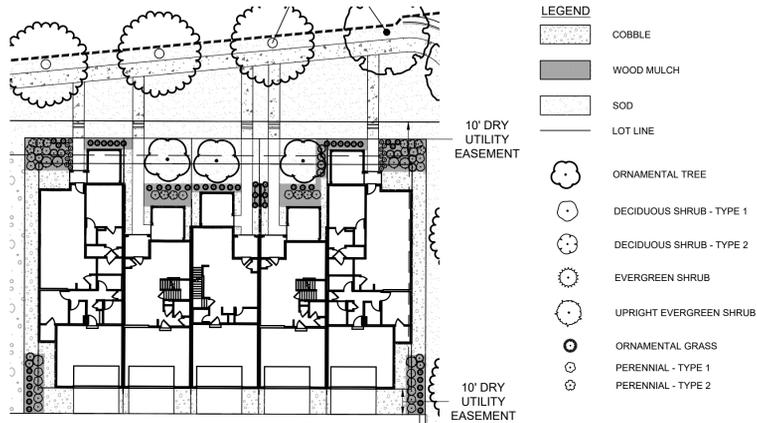
LOT TYPICAL - LANDSCAPE AREA DEFINITIONS N.T.S.

LANDSCAPE INSTALLED BY BUILDER
REAR-LOADED TOWNHOME CONDITION



LANDSCAPE TYPICALS N.T.S.

LANDSCAPE INSTALLED BY BUILDER
REAR-LOADED TOWNHOME CONDITION



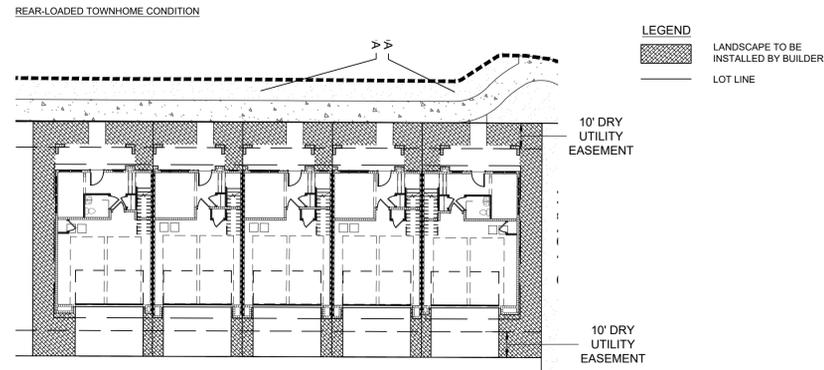
REAR-LOADED TOWNHOME LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION						
	CORNER LOT			INTERNAL LOT		INTERNAL LOT	
	FRONT/ALLEY	SIDE YARD	BACKYARD	FRONT/ALLEY	BACKYARD	FRONT/ALLEY	BACKYARD
ORNAMENTAL OR EVERGREEN TREE	0	0	NA	1	NA	1	NA
DECIDUOUS/EVERGREEN SHRUBS	22	0	NA	4	NA	2	NA
ORNAMENTAL GRASSES	14	0	NA	6	NA	9	NA
PERENNIALS	9	0	NA	0	NA	0	NA
TURF	NONE	NONE	NONE	NONE	NONE	NONE	NONE

- NOTES:
- ADDITIONAL ALLEY LANDSCAPE IS TO BE INSTALLED BY DEVELOPER/BUILDER AND MAINTAINED BY MCCMD.
 - FRONT YARD LANDSCAPE IS TO BE INSTALLED BY DEVELOPER/BUILDER, AND MAINTAINED BY MCCMD SUBJECT TO MCCMD'S POLICIES AND PROCEDURES FOR THE ACCEPTANCE AND ACQUISITION OF PUBLIC IMPROVEMENTS.
 - LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

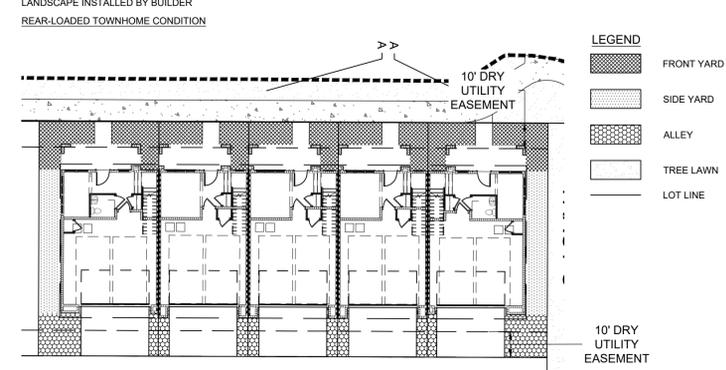
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PROJECT NO.	DATE	NO.	NOTES
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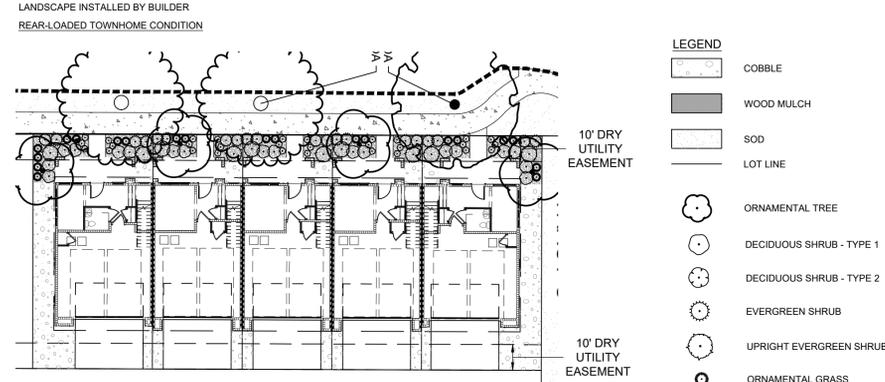
REAR-LOADED TOWNHOME LOT TYPICAL - LANDSCAPE INSTALLING AND MAINTENANCE REQUIREMENTS N.T.S.



LOT TYPICAL - LANDSCAPE AREA DEFINITIONS N.T.S.



LANDSCAPE TYPICALS N.T.S.



REAR-LOADED TOWNHOME LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION					
	MATERIAL	CORNER LOT			INTERNAL LOT	
		FRONT/ALLEY	SIDE YARD	BACKYARD	FRONT/ALLEY	BACKYARD
ORNAMENTAL OR EVERGREEN TREE	1	0		1		
DECIDUOUS/EVERGREEN SHRUBS	12	0	BY HOMEOWNER	8	BY HOMEOWNER	
ORNAMENTAL GRASSES	8	0		2		
PERENNIALS	6	0		6		
TURF	6' MIN	NONE	NONE	6' MIN	NONE	

- NOTES:
- ADDITIONAL ALLEY LANDSCAPE IS TO BE INSTALLED BY DEVELOPER/BUILDER AND MAINTAINED BY MCCMD.
 - FRONT YARD LANDSCAPE IS TO BE INSTALLED BY DEVELOPER/BUILDER, AND MAINTAINED BY MCCMD SUBJECT TO MCCMD'S POLICIES AND PROCEDURES FOR THE ACCEPTANCE AND ACQUISITION OF PUBLIC IMPROVEMENTS.
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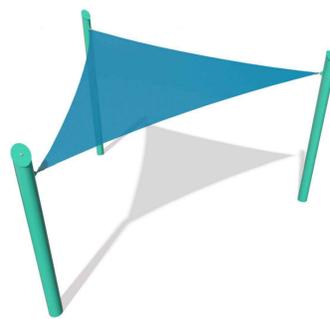
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071192024	1	07/11/2024										

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MANUFACTURER: MADRAX (WWW.MADRAX.COM)
 MODEL: HEAVY DUTY CHALLENGER BIKE RACK, H36-5, 5-BIKES
 COLOR: BLACK
 SIZE: 2-3/8" TUBE | 39" L X 36" H
 SURFACE MOUNT, PRE-DRILLED, USE BIKE RACK SURFACE MOUNT HARDWARE KIT BY SAME MANUFACTURER.
 INSTALL PER MANUFACTURER'S SPECIFICATIONS

7 BIKE RACK
 SCALE: NTS



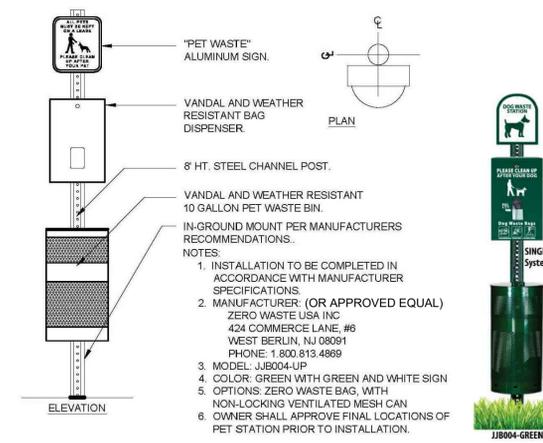
MANUFACTURER: LANDSCAPE STRUCTURES
 MODEL: SKYWAYS TRIANGLE SAIL (20'X20'X20') SHADE
 COLOR: TBD
 CONTACT: ISABEL KEEGEN, (303) 783-1452, EMAIL: ISABEL@RMREC.COM
 • REMOVABLE FABRIC SHADE SAIL MOUNTED TO STEEL POSTS.
 • SAIL HEIGHT: VARIED BY POLE - 8', 10' AND 12'

6 SHADE STRUCTURE
 SCALE: NTS

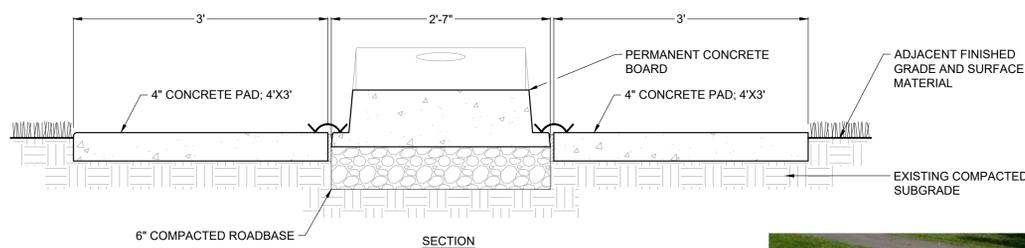


MANUFACTURER: TREE TOP PRODUCTS (WWW.TREETOPPRODUCTS.COM)
 MODEL: COMMERCIAL STEEL WASTE 32 GAL FLAT LID RECEPTACLE
 COLOR: BLACK ONYX
 SIZE: 28" W x 35.5" H
 SURFACE MOUNT, PRE-DRILLED
 INCLUDES RIGID 32-GAL LINER
 INSTALL PER MANUFACTURER'S SPECIFICATIONS

5 LITTER RECEPTACLE
 SCALE: NTS



4 DOG WASTE STATION
 SCALE: 1" = 1'-0"



MANUFACTURER: DOTY & SONS CONCRETE PRODUCTS, INC.
 MODEL: ALL CONCRETE BAG TOSS GAME (BYOB5531)
 COLOR: STANDARD GRAY WITH SEALED (SEMI-GLOSS) PLAY SURFACE FINISH.
 CONTACT: MATT ROTRAMEL, (800) 233-3907
 EACH SET CONSISTS OF TWO PERMANENT CONCRETE BOARDS.
 CONTRACTOR TO REQUEST AMERICAN CORNHOLE ASSOCIATION (ACA) UNIT SPACING DIAGRAM FROM THE MANUFACTURER.

3 CORNHOLE
 SCALE: NTS



MANUFACTURER: TREE TOP PRODUCTS (WWW.TREETOPPRODUCTS.COM)
 MODEL: NORTHGATE PICNIC TABLE (SQUARE PEDESTAL)
 COLOR: BLACK ONYX
 SIZE:
 • TABLE: 46" x 46"
 • SEATS: 36" L x 12" W x 19" H
 • FOOTPRINT: 82" L x 82" W x 31" H
 SURFACE MOUNT, PRE-DRILLED
 SEATS EIGHT (8) ADULTS, ADA SEATS ONE (1) WHEELCHAIR AND SIX (6) ADULTS
 INSTALL PER MANUFACTURER'S SPECIFICATIONS

2 PICNIC TABLE
 SCALE: NTS



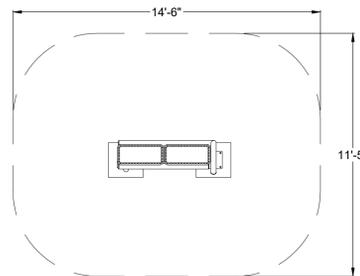
MANUFACTURER: TREE TOP PRODUCTS (WWW.TREETOPPRODUCTS.COM)
 MODEL: NORTHGATE BENCH WITH ARCHED BACK, NO CENTER ARMREST
 COLOR: BLACK ONYX
 SIZE: 6'
 SURFACE MOUNT, PRE-DRILLED
 INSTALL PER MANUFACTURER'S SPECIFICATIONS

1 BENCH
 SCALE: NTS

NOT FOR CONSTRUCTION

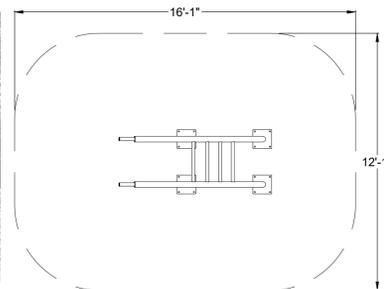
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01112024		1	SUPPLEMENTAL L.A. 2ND CITY REVIEW

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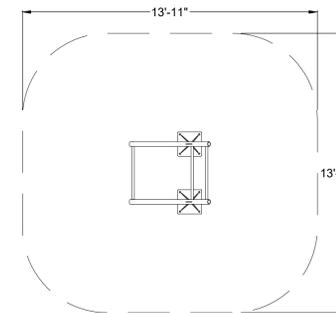
MANUFACTURER: NORWELL OUTDOOR FITNESS
 MODEL: NW501B BENCH
 CONTACT: STERLING WEST, KEVIN THERRIEN, (877) 537-3470, KEVINT@STERLINGWEST.NET
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.

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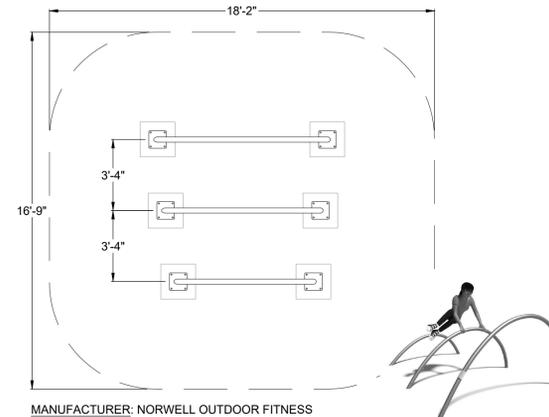
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 MODEL: NW110 MULTI LADDER
 CONTACT: STERLING WEST, KEVIN THERRIEN, (877) 537-3470, KEVINT@STERLINGWEST.NET
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.

3 MULTI LADDER
 SCALE: NTS



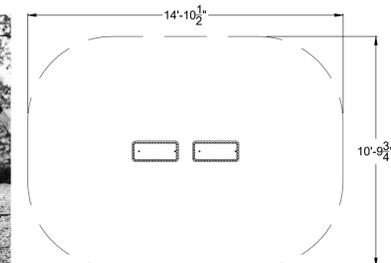
MANUFACTURER: NORWELL OUTDOOR FITNESS
 MODEL: NW107 DUAL PULL UP
 CONTACT: STERLING WEST, KEVIN THERRIEN, (877) 537-3470, KEVINT@STERLINGWEST.NET
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.

2 DUAL PULL UP
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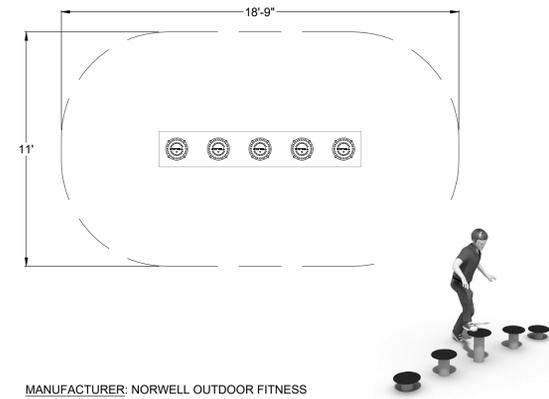
MANUFACTURER: NORWELL OUTDOOR FITNESS
 MODEL: NW207 TRIPLE JUMPER
 CONTACT: STERLING WEST, KEVIN THERRIEN, (877) 537-3470, KEVINT@STERLINGWEST.NET
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.

6 TRIPLE JUMPER
 SCALE: NTS



MANUFACTURER: NORWELL OUTDOOR FITNESS
 MODEL: NWSW112 STEP BLOCKS
 CONTACT: STERLING WEST, KEVIN THERRIEN, (877) 537-3470, KEVINT@STERLINGWEST.NET
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.

5 STEP BLOCKS
 SCALE: NTS



MANUFACTURER: NORWELL OUTDOOR FITNESS
 MODEL: NW303 BALANCER
 CONTACT: STERLING WEST, KEVIN THERRIEN, (877) 537-3470, KEVINT@STERLINGWEST.NET
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.

1 BALANCER
 SCALE: NTS

NOT FOR CONSTRUCTION

NOTES

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DATE

PROJECT NO. | 06201.030

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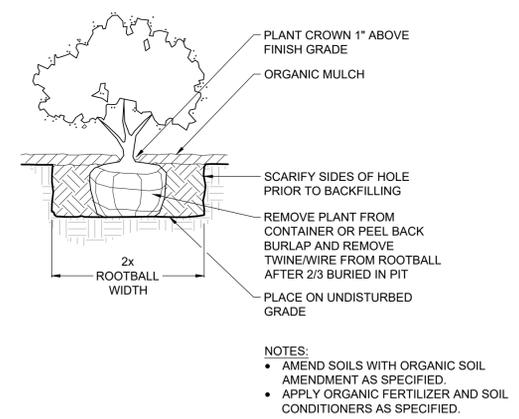
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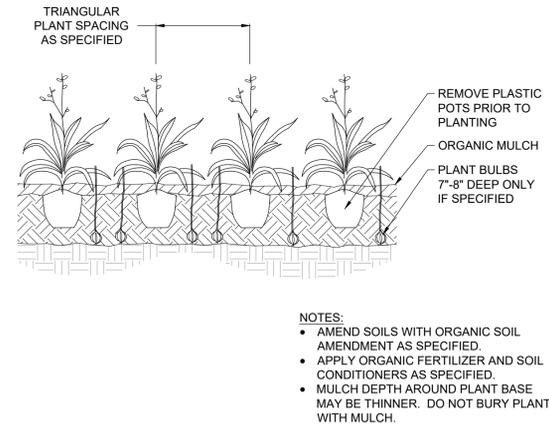
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MIDTOWN - FILING 13
CONSTRUCTION DOCUMENTS
LANDSCAPE DETAILS

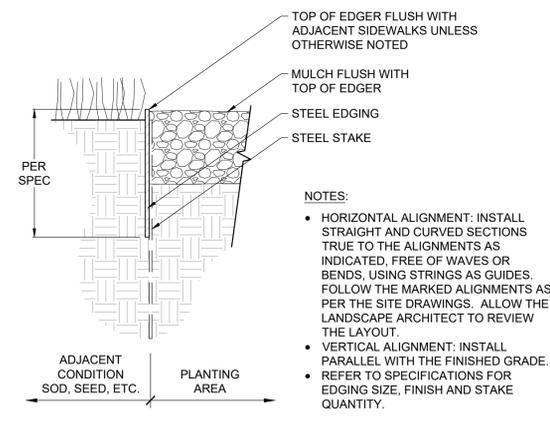
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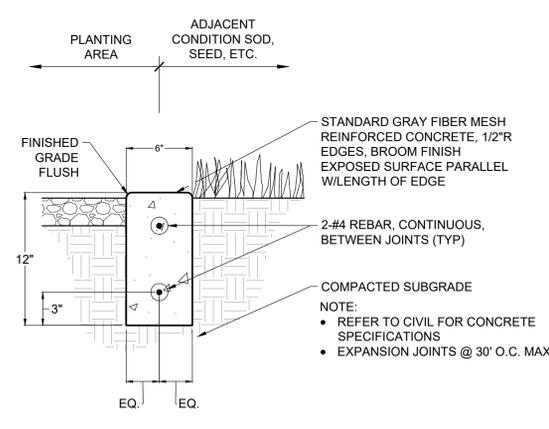
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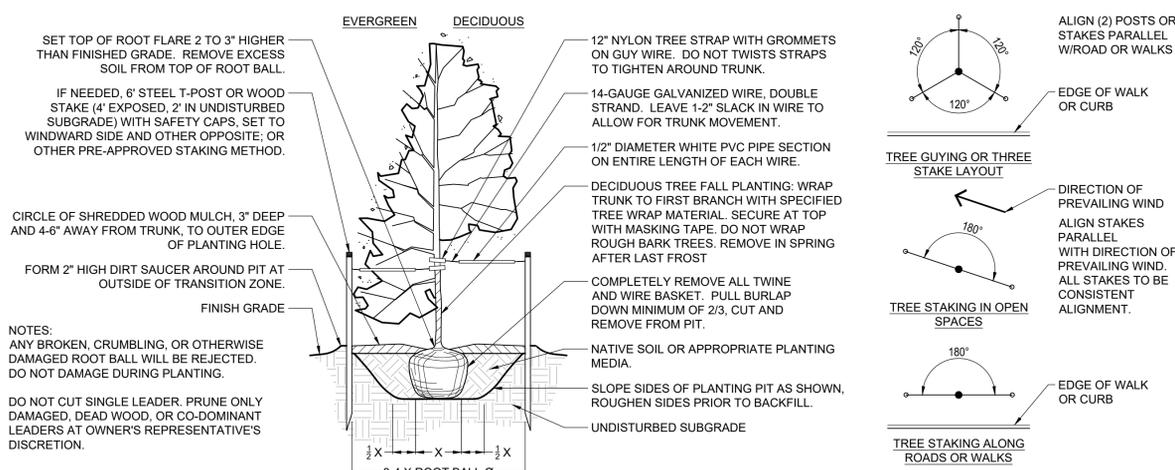
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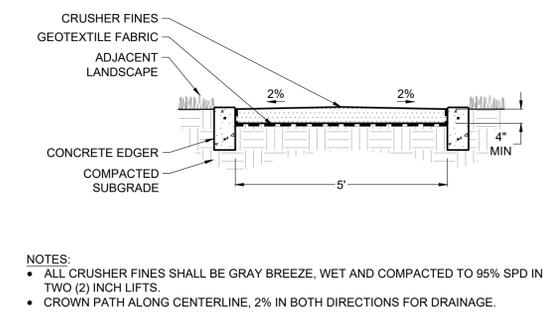
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SCALE: 1 1/2\"/>



6 TREE PLANTING
SCALE: NTS



5 CRUSHER FINE TRAIL
SCALE: 1/2\"/>



January 10, 2024

Midtown, LLC
6465 Greenwood Plaza Blvd, Suite 700
Centennial, Colorado 80111

Subject: Foundation and Street Subgrade Modification
Midtown Reversion Parcel
Southeast of Mariposa Street and West 68th Avenue
Adams County, Colorado
Project Number 221601

- References:
1. "Subsurface Exploration Program and Preliminary Geotechnical Evaluation
Clear Creek Development
68th Avenue and Pecos Street
Adams County, Colorado"
By Ground Engineering Consultants, Inc.
Job Number 06-3085
Dated October 26, 2006
 2. "Field Observation Report
Midtown at Clear Creek Phase 1
Daily Report No. 13-158
By Cesare, Inc.
Project Number 12.083
Dated June 7, 2013

As requested, we have reviewed the above references in an attempt to provide subgrade modification recommendations for the proposed construction at the subject site. Our review indicates buried construction debris and uncontrolled, debris-laden fill was encountered across the site from depths of 6 feet to more than 16 feet. As recommended in the referenced Ground report, Brookfield Residential intends on removing all the construction debris and undocumented fill from beneath building envelopes and streets. In addition, if native soils are encountered shallower than 15 feet below proposed grade, these soils will be moisture treated and placed back as moisture conditioned and properly compacted fill to create a buffer zone of 12 feet between expansive soils and foundations. It is anticipated that much of the concrete, asphalt and brick will be crushed to aggregate material meeting the gradation requirements of CDOT Class 6 aggregate base or CDOT Class 1 structural backfill and re-used as fill material. Fill material free from debris should be placed over the crushed concrete to create a minimum three feet buffer layer to construct the structure foundations on.

The base of the excavation should extend a minimum of 5 feet beyond the foundation footprint (including any counterforts, covered porches, patios, decks, etc.). Excavations that do not extend to these minimums risk future foundation performance issues. The excavation should be sloped following current OSHA regulations. AGW is not responsible for testing near excavations that do

not meet OSHA regulations. A licensed surveyor must verify the extents of the excavation prior to any fill placement. Once the excavation limits are verified by a licensed surveyor, fill placement may begin. The bottom of the excavation should be scarified and moistened prior to fill placement. The fill, consisting of the excavated materials, should be placed in maximum 8-inch loose lifts. Moisture should be added and the lift processed. Mixing should be performed until the moisture content is relatively uniform throughout the lift and the majority of the particles are less than 3 inches in dimension. For A-6 and A-7-6 soils, the soils should be placed within 0 to +4% of optimum moisture content and compacted to a minimum of 95% of standard Proctor maximum dry density according to ASTM D698. For all other soil types, the soils should be placed within -2 to +2% of optimum moisture content and compacted to a minimum of 95% of modified Proctor maximum dry density according to ASTM D1557. The structural engineer should be consulted regarding the need for bracing and the timing of backfill. All topsoil, existing fill, and soil containing organic material should be excavated prior to placement of new fill. Off-site material considered for fill beneath structural elements must be evaluated by AGW prior to import. Descriptions of the existing rubble in the above references indicate that some of the rubble contains debris other than concrete, asphalt or brick that cannot be used as fill as well as concrete with reinforcing steel. This material will need to be hauled off the site and disposed.

Water flow into the excavation may occur in areas of shallow ground water. The water can be handled by channeling the water in the excavations and pumping from sumps. Permanent drains at the base of the overexcavation may be necessary. The drains should be sloped to a positive gravity outfall. If an outfall for the drains is not possible, the drains should not be constructed. Depending on the location of the inflow, chimney drains may be necessary to convey water from sidewall seepage areas to the drain. The configuration of these drains should be determined at the time of construction.

AGW should be contracted to perform essentially full-time observation and testing of fill placement. Testing should include in-place moisture content and dry density. Other testing may also be performed at the discretion of the engineer. Placement and compaction of fill should continue to final overlot grade. We do not recommend that placement of fill stop at foundation elevation as drying of the near surface fill prior to foundation construction may allow sufficient heave after construction to distress the structure, unless the foundation is to be constructed within one month of completion of fill placement.

This review was provided to summarize previously provided recommendations by Others which were based on widely spaced test borings and test pits to obtain an understanding of subsurface conditions for preliminary planning and development purposes. Variations frequently occur from these conditions which are not indicated by the test borings and test pits. These variations are sometimes sufficient to necessitate modifications in the designs. If unexpected subsurface conditions are observed by any party during site development, AGW must be notified to review our recommendations. Any mention of essentially full-time testing and observation does not mean AGW will accept responsibility for future fill performance. AGW shall not be responsible for constant or exhaustive inspection of the work, the means and methods of construction or the safety procedures employed by Client's contractor. Performance of construction observation services does not constitute a warranty or guarantee of any type, since even with diligent

observation, some construction defects, deficiencies or omissions in the Contractor's work may occur undetected. Client shall hold its contractor solely responsible for the quality and completion of the project, including construction in accordance with the construction documents. Any duty hereunder is for the sole benefit of the Client and not for any third party, including the contractor or any subcontractor.

Sincerely,

A. G. Wassenaar, Inc.



Michael R. Conner, P.E.
Senior Engineer



OPERATION AND MAINTENANCE MANUAL

MIDTOWN AT CLEAR CREEK FILING 7 WATER QUALITY POND

OCTOBER 2017

Prepared for:

**CLEAR CREEK METROPOLITAN DISTRICT NO. 1
Englewood, Colorado**



Advancing Opportunity

OPERATION AND MAINTENANCE MANUAL
MIDTOWN AT CLEAR CREEK FILING 7 WATER QUALITY
POND

OCTOBER 2017

Prepared for:

CLEAR CREEK METROPOLITAN DISTRICT NO. 1
188 Inverness Drive West, Suite 150
Englewood, Colorado 80112

Prepared by:

LT ENVIRONMENTAL, INC.
4600 West 60th Avenue
Arvada, Colorado 80003
(303) 433-9788





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1.0 INTRODUCTION

This Water Quality Pond Operation and Maintenance (O&M) manual has been prepared to assist Clear Creek Metropolitan District No. 1 (the District), the owner, with guidelines and procedures to ensure that the Clear Creek Water Quality Pond (WQP) at Midtown Filing 7 will function adequately and properly as originally intended.

1.1 PURPOSE

The WQP is designed to treat stormwater runoff from the Midtown Filing 7 at Clear Creek development. The WQP serves as a permanent best management practice (BMP) to mitigate the impacts of pollutants and increased stormwater runoff and to reduce the runoff rate from the historical rate (prior to development). This action protects downstream areas from flooding and erosion.

1.2 LOCATION

The WQP is located within the Midtown at Clear Creek Development, an unincorporated area near the city of Westminster in Adams County, Colorado. The Midtown at Clear Creek Development is located approximately one-half mile north of the intersection of Interstate 76 and Pecos Street. The maintenance access road to the WQP is located off an existing concrete trail to the south, east, and north of the WQP; the trail is accessed from the corner of West 66th Avenue and Mariposa Street. The Site Location Map is provided as Figure 1.

The Midtown at Clear Creek Development consists of single family homes and associated landscape tracts, as well as various other community improvements. Filing 7 and the WQP are located east of Pecos Street. Construction on Filings 1 through 8 has been completed, while Filings 6 and 9 are currently under construction. The WQP was completed in 2016.



2.0 POND FUNCTION AND APPURTENANCES

The WQP is a water quality pond known as the Water Quality and Detention Pond DE. Stormwater flow enters the pond via either the north forebay, from 30-inch reinforced concrete pipe (RCP) which exits storm sewer manhole STM MH 3-1, or the south forebay from 42-inch RCP which exits storm sewer manhole STM MH 2-1A. The flow enters the forebay structures where each have a stilling basin. Flow exits the stilling basins to travel the length of the WQP through a trickle channel and into a micro-pool at the outlet structure. The outlet structure contains flow-control elements to restrict flow at higher flow volumes. Controlled stormwater flow exits the outlet structure through a 60-inch RCP outlet pipe and drains into Clear Creek. The Site Map detailing the WQP is included as Figure 2.

Summary of Pond Volumes:

- Forebay (North): 0.013 acre feet (AF)
- Forebay (South): 0.02 AF
- Micro Pool: 0.023 AF
- Water Quality Capture Volume: 1.18 AF
- 100-year Detention Total Volume: 5.85 AF

2.1 INLETS

The basin receives stormwater through sheet flow and through two storm sewer outfalls. Sheet flow is runoff that flows overland and is not concentrated in swales. The amount of sheet flow into this basin is minimal; overland sheet flows do not exceed 300 feet and thus are not anticipated to channelize. Vegetation upstream of the basin and on its side slopes acts as a buffer strip that slows runoff and aides in the removal of pollutants.

Stormwater conveyed through storm sewers enters the basin at one of two locations, either the northwest or the southwest side of the pond. The forebay structures and stilling basins function to reduce the velocity of the stormwater flow and to allow entrained sediment to settle. The sediment collects in the stilling basins and will need periodic removal.

2.2 LOW-FLOW CHANNELS

Low flows entering the WQP are directed through a winding soft-bottom trickle channel. This channel runs from the stilling basins to the micro-pool. This low-flow channel aids in proper pond drainage as minor and nuisance flows have a clear, direct path to the pond's outlet structure, reducing the likelihood of the water pooling and becoming stagnant.

2.3 OUTLET WORKS AND EMERGENCY SPILLWAY

The outlet structure and micro-pool provide outlet flow control to reduce stormwater velocity and allow for entrained sediment to settle. The micro-pool is designed to maintain a constant





water volume during low-flow periods. Flows are retained and managed by the water quality orifice plate. The small diameter holes in the water quality orifice plate are vulnerable to clogging by trash and organic debris. To mitigate clogging, a trash rack is installed in front of the water quality orifice plate. During a major storm event (i.e., statistical 100-year storm event pond peak inflow or larger), the water level will eventually rise and begin flowing through notches in a series of Type D inlets.

A storm event which exceeds the design capacity of the WQP (100-year detention capacity) will cause the volume of the pond to rise and flow into a series of seven Type D inlets located above the 100-year water surface elevation. The seven Type D inlets that make up the emergency overflow release are capable of conveying two times the 100-year pond peak inflow through 60-inch RCP into Clear Creek. If an emergency event were to occur, Mr. Will Sherman of Brookfield Residential Properties, Inc., should be contacted at 720-486-4272.

2.4 VEGETATION

When constructed, the pond was vegetated with native grasses and vegetation. This vegetative cover provides erosion control, sediment entrapment, and an overall healthy basin. However, overgrowth of vegetation can lead to a reduction in stormwater volume storage, increasing the likelihood of embankment overtopping, and can obstruct access for pond maintenance. Pond vegetation should be inspected regularly to ensure actions are taken to maintain balance. See Section 3.0 *General Maintenance* for inspection and maintenance details and Appendix A *Landscape Construction Documents* for details on the pond landscape plans.



3.0 GENERAL MAINTENANCE

3.1 RESPONSIBILITY

Maintenance of the WQP is the responsibility of the District for the benefit of the community at large. Improper maintenance may lead to unsightly areas in the subdivision and may result in stagnant water and related hazards. As such, regular inspections should be performed to properly administer the maintenance needs of the basin. Adjacent properties should not pollute the basin with litter or improperly dispose of harmful substances.

3.2 TASK AND FREQUENCY

Maintenance tasks are organized into three categories: Inspections, Vegetation Care, and Property Management.

3.2.1 INSPECTIONS

Proper inspection and maintenance of the WQP ensures that stormwater flows in and out of the pond as designed. An inspector should be experienced in relevant aspects of construction, erosion, and sediment control. The WQP as-built construction drawings are included as Appendix B for reference during inspections.

3.2.1.1 EROSION CONTROL

Inspect the perimeter of the pond, including around the retaining wall, for signs of erosion. Inspect the retaining wall underdrain outlets for signs of excess erosion caused by drainage.

- Frequency: Biannually: March and September

3.2.1.2 SEDIMENT ACCUMULATION

Inspect the pond for sediment accumulation. Verify that the retaining wall underdrain outlets are intact and free of sediment. The stilling basin and micro-pool are designed for sediment accumulation and will require periodic sediment cleanout. Sediment removal may require the use of a vacuum truck.

Inspect the outlet structure trash rack, Type-D inlets, and water quality orifice plate for entrained debris which could impede their functions.





3.3 STRUCTURAL INTEGRITY

Inspect the entirety of the WQP structures including inlet structures, outlet structures, retaining walls, fences, and railings for structural integrity. Observe and record the presence and size of any cracking or damage to the concrete, railings, or flow-control structures. Make the determination on whether repairs are required.

- Frequency: Monthly: April through October during active land development and/or homebuilding construction.
- Frequency: Biannually: March and September once construction is completed.

3.3.1 VEGETATION CARE

Vegetation within the basin promotes sedimentation and prevents erosion within the pond. In the spring and fall, the vegetation should be inspected. Dead and decomposing vegetation should be removed as they can easily clog the outlet structure. The creation of a “no-mow” zone consisting of the wetland seed mix, switchgrass plugs, iris plugs, and cordgrass plugs areas, running along the pond’s soft-bottom channel, will help reduce the amount of nutrients such as nitrogen and phosphorus entering the pond and ultimately reduce algae growth within the pond. This no-mow zone is essentially demarcated by the perimeter of the wetland seed mix area depicted on Sheets L8 of the Landscape Construction Documents (Appendix A); vegetation in this area should be allowed to grow without any mowing or trimming. Grasses and vegetation beyond the perimeter of the no-mow zone should be mowed to a minimum height of six inches. Mowing should be conducted a minimum of biannually (i.e., June and September). The following inspection and maintenance tasks should be incorporated for vegetation management.

3.3.1.1 WEED CONTROL AND INVASIVE PLANT REMOVAL

Noxious weeds to be sprayed by the District as needed. Only “environmentally-friendly” products should be used by a qualified professional. Ensure that the “no-mow” buffer zone remains intact and chemical free. Use selective pruning methods to eliminate undesirable species of plants.

Obtain the services of a vegetation or landscaping professional to identify and selectively remove invasive and undesirable species from the no-mow zone and the pond.

- Frequency: Biannually: May and September

3.3.1.2 INCREASE PLANT DIVERSITY

Purchase native seed mix and install plantings in spring or fall, as needed for supplementation, per the Landscape Construction Documents (Appendix A). Add desirable native species of plants to avoid aggressive plants or exotic plants which require maintenance. Maintaining plant diversity will enhance water quality, minimize algae blooms, and encourage habitat for birds and other wildlife.





- Frequency: Biannually: On an as-needed basis, May and September.

3.3.2 PROPERTY MANAGEMENT

Many activities that occur near or around the pond will affect the overall health of the pond. Property Management refers to specific activities to be conducted outside the limits of the pond.

3.3.2.1 NUISANCE CONTROL

Address odors, insects, and overgrowth issues associated with stagnant or standing water within the collection system and storm drains as needed.

3.3.2.2 DEBRIS AND LITTER REMOVAL

Instruct homeowners to refrain from placing yard waste such as leaves, grass clippings, or brush in the storm drains located in the street.

The District should inspect storm drains and trash racks for accumulated debris and schedule cleaning and removal as required.

- Frequency: Quarterly: March, June, September, and December.

3.3.2.3 STREET SWEEPING

Street sweeping will be performed on an as-needed basis to minimize excess sediment from entering the storm sewer and WQP. If the county does not conduct regular street sweeping, contracting with a company to perform this regular maintenance item will reduce the need for future pond maintenance.

3.4 UNSCHEDULED MAINTENANCE

Routine construction stormwater inspections are conducted at the Midtown at Clear Creek Development on a biweekly basis. During the routine stormwater inspections, informal inspections of the WQP are also conducted. The information inspections are conducted to identify any unexpected deficiencies at the WQP and address these deficiencies in a timely manner without waiting for the routine inspections described above. The deficiencies and any remedial actions are repaired/completed as needed.

3.5 NOTIFICATIONS

Adams County will be notified prior to the following maintenance actions: grading for erosion control and structural repair.





3.6 GENERAL ANNUAL SCHEDULE

March	Conduct biannual inspections and remove litter and debris
May	Weed and invasive species inspection/removal; prune no-mow zone; assess and add seed and/or desirable native species plantings
June	Mow grasses and remove litter and debris
September	Mow grasses; weed and invasive species inspection/removal; Conduct biannual inspections; prune no-mow zone; assess and add seed and/or desirable native species plantings and remove litter and debris
December	Remove litter and debris

3.7 OTHER REQUIREMENTS

All sediment and debris will be removed from the property and taken to a licensed landfill or to another location owned and approved by the District. In the event that potentially hazardous wastes (e.g., oil, paint, gasoline, or soil contaminated with chemicals) need to be disposed of, contact an insured and permitted facility. These facilities may be found in the local Yellow Pages phone book under "Waste Disposal – Hazardous."

If concrete mixing is required, it will be done on a tarped surface with a berm around the mixing area. Under no circumstances will concrete or concrete wash water be allowed to enter the pond or the pond storm systems. All concrete is to be removed from the site and disposed of in a properly-bermed concrete washout or at a hazardous waste disposal facility.



FIGURES



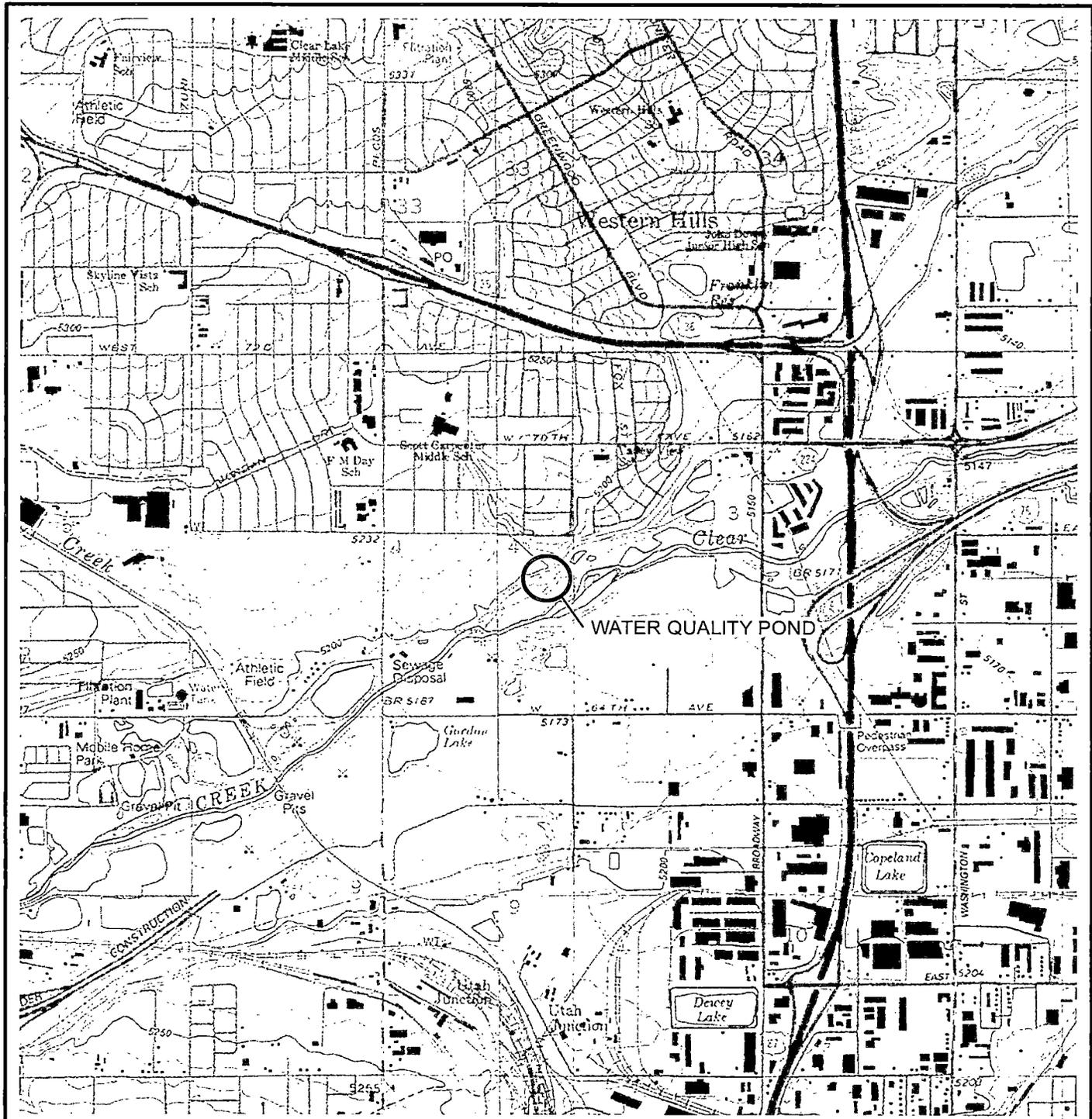


IMAGE COURTESY OF ESRI/USGS

LEGEND

○ SITE LOCATION

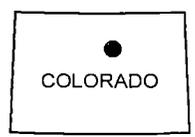
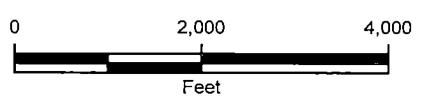
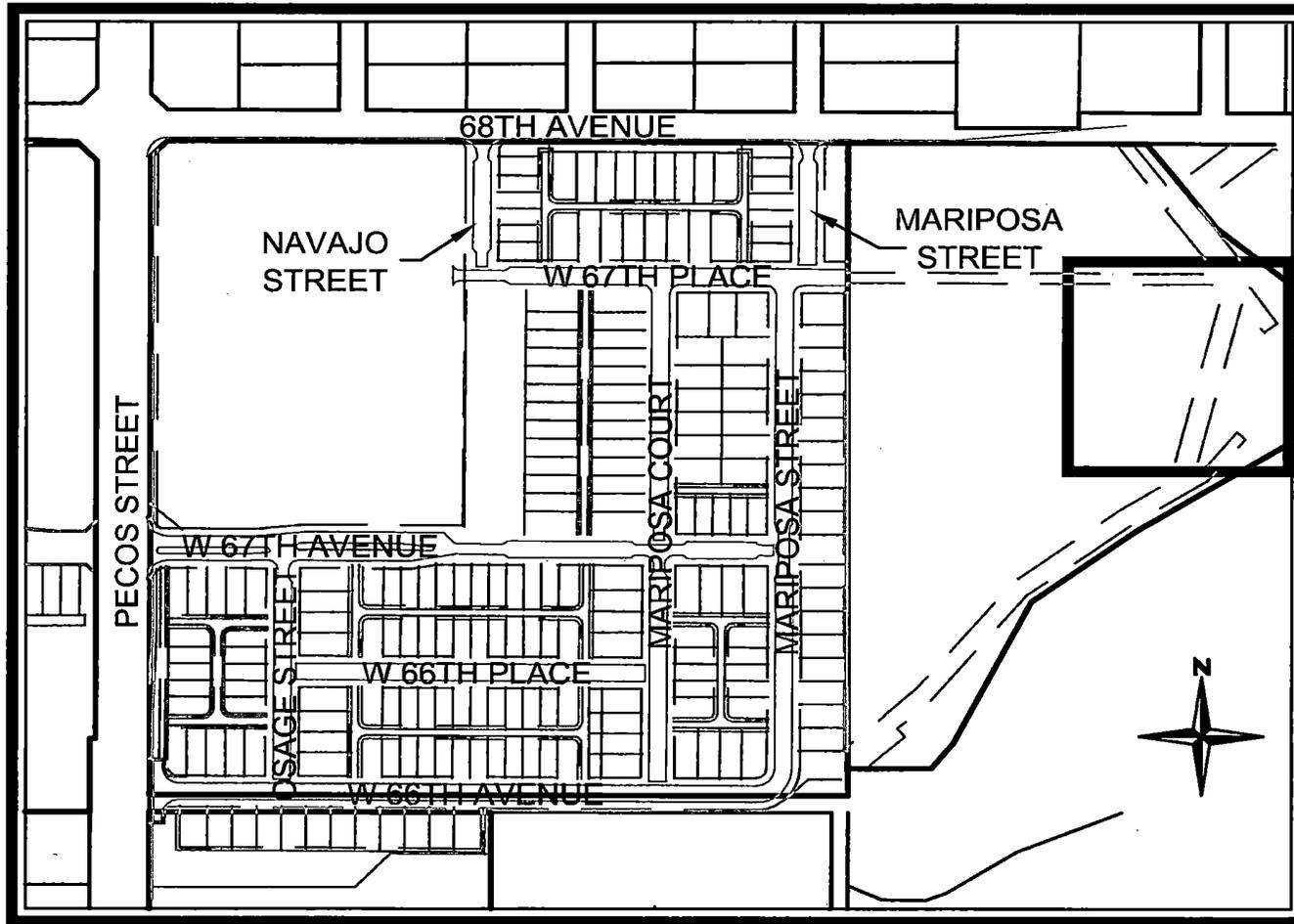


FIGURE 1
 SITE LOCATION MAP
 MIDTOWN AT CLEAR CREEK FILING 7
 WATER QUALITY POND
 DENVER, COLORADO
 CLEAR CREEK METROPOLITAN DISTRICT NO. 1





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FIGURE 2
KEY MAP
MIDTOWN FILING NO. 7 WATER QUALITY POND
ADAMS COUNTY, COLORADO
CLEAR CREEK METROPOLITAN DISTRICT NO. 1



TABLES



CLEAR CREEK METROPOLITAN DISTRICT NO. 1
 INSPECTION AND MAINTENANCE RECORD

Task	Frequency	Contractor (Name & Phone)	Initial	Date	Corrective Action Required?	Notes
<u>Litter and Debris Removal</u>	Quarterly: March					
	Quarterly: June					
	Quarterly: September					
	Quarterly: December					
<u>Mowing</u>	Biannually: June					
	Biannually: September					
<u>Increase Plant Diversity</u>	Biannually: May					
	Biannually: September					
<u>Erosion Control</u>	Biannually: March					
	Biannually: September					
<u>Sediment Accumulation</u>	Biannually: March					
	Biannually: September					
<u>Structural Integrity</u> * See frequency note in manual.	Biannually: March					
	Biannually: September					
<u>Weed and Invasive Plant Inspection & Removal</u>	Biannually: May					
	Biannually: September					



TABLE 2

**PROJECT DATA SHEET
MIDTOWN AT CLEAR CREEK FILING 7 WATER QUALITY POND
ADAMS COUNTY, COLORADO
CLEAR CREEK METROPOLITAN DISTRICT NO. 1**

Catchment Area:	53.26 acres	
Impervious Area (approximate):	29.293 acres	* Average of 55% imperviousness
Off-site Contribution to Runoff, Minor Discharge (5-year storm):	16 cubic feet per second	
Off-Site Contribution to Runoff, Major Discharge (100-year storm):	44.6 cubic feet per second	
Water Quality Capture Storage Volume:	1.17 acre-feet	
Minor Discharge (5-year storm) Storage Volume:	2.13 acre-feet	
Major Discharge (100-year storm) Storage Volume:	5.13 acre-feet	
Designed Release Rate, Minor Discharge:	0.17 cfs/acre - 9.05 cfs	
Designed Release Rate, Major Discharge:	1 cfs/acre - 53.3 cfs	
Water Quality Orifice Plate:	Single column of 10 holes, 1-7/16" diameter, 0.33' vertical spacing	

Note: cfs - cubic feet per second



APPENDIX A
LANDSCAPE CONSTRUCTION DOCUMENTS



MIDTOWN

MIDTOWN AT CLEAR CREEK FILING SEVEN ADAMS COUNTY, COLORADO LANDSCAPE CONSTRUCTION DOCUMENTS BID SET MARCH 24, 2016

NORRIS DESIGN
 www.norris-design.com
 1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186

REDLAND
 Engineering & Construction
 4455 S. Comstock Plaza
 Suite 700
 Centennial, CO 80111
 303.790.6502

MIDTOWN AT CLEAR CREEK
 FILING SEVEN
 LANDSCAPE CONSTRUCTION DOCUMENTS
 ADAMS COUNTY, COLORADO

PREPARED FOR:
Brookfield Residential
 6455 S. Comstock Plaza
 Suite 700
 Centennial, CO 80111
 303.790.6502

811
 Know what's below.
 Call before you dig.

DATE:
 BID SET: 03/24/2016

SHEET TITLE:
 COVER

SHEET NUMBER:
 L-0

OWNER
 MIDTOWN, LLC
 6465 S. Greenwood Plaza Blvd, Suite 700
 Centennial, CO 80111
 Contact: Chris Petro
 303-790-6513

CIVIL ENGINEER
 Redland
 8000 South Lincoln Street, Suite 206
 Littleton, CO 80122
 Contact: Mike Pietschmann
 720-283-8783

LANDSCAPE ARCHITECT
 Norris Design
 1101 Bannock Street
 Denver, CO 80204
 Contact: John Norris | Sarah Doyle
 303-892-1166

ELECTRICAL ENGINEER
 Architectural Engineering
 Design Group, INC
 1900 Wazee Street, Suite 350
 Denver, CO 80202
 Contact: Eric Reitan, Anna-Lisa Connors
 303-296-4443

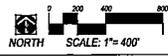
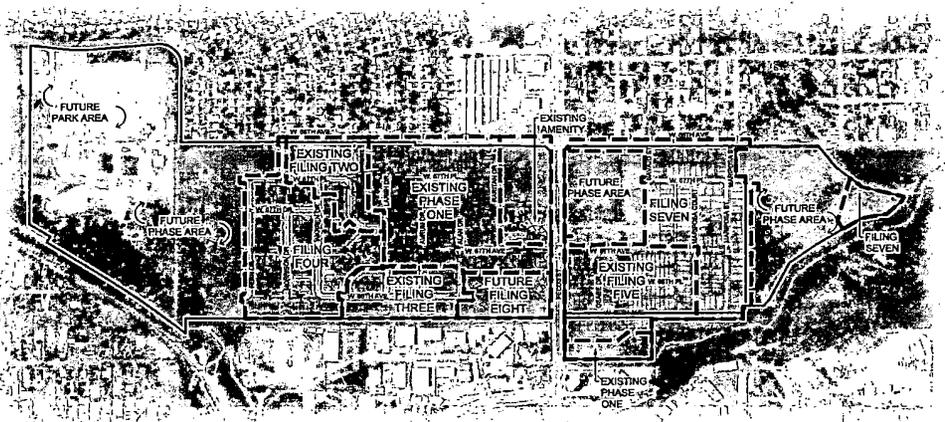
IRRIGATION
 HydroSystems KDI, Inc.
 86 Tabor Street, Suite 200
 Lakewood, CO 80401
 Contact: Jill Bersano
 303-980-5327

STRUCTURAL ENGINEER
 McGlamery
 3734 Osage Street
 Denver, CO 80211
 Contact: Sam McGlamery,
 Zach Rogers
 303-455-8988

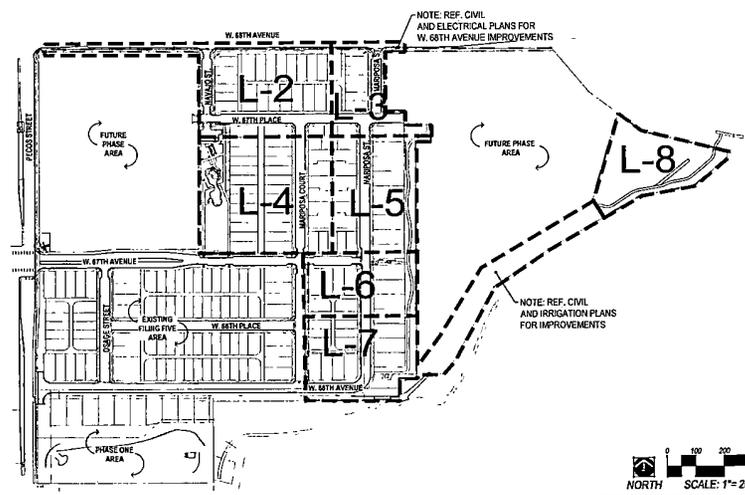
SHEET INDEX

L-0 COVER	L-13 DETAILS	S1.0 STRUCTURAL NOTES
L-1 MATERIALS SCHEDULE & NOTES	L-14 DETAILS	S2.0 STRUCTURAL PLANS
L-2 LANDSCAPE PLAN	L-15 DETAILS	S3.0 STRUCTURAL DETAILS
L-3 LANDSCAPE PLAN	L-16 DETAILS	
L-4 LANDSCAPE PLAN	IR-0 IRRIGATION NOTES & SCHEDULE	C1.0 GRADING PLAN
L-5 LANDSCAPE PLAN	IR-1 IRRIGATION PLAN	C1.1 SLEEVING PLAN
L-6 LANDSCAPE PLAN	IR-2 IRRIGATION PLAN	C1.2 SPANISH STEPS GRADING PLAN
L-7 LANDSCAPE PLAN	IR-3 IRRIGATION PLAN	
L-8 LANDSCAPE PLAN	IR-4 IRRIGATION PLAN	
L-9 LANDSCAPE ENLARGEMENT PLAN	IR-5 IRRIGATION PLAN	
L-10 PARK GRADING & LAYOUT PLAN	IR-6 IRRIGATION PLAN	
L-11 LANDSCAPE NOTES & PLANT LIST	IR-7 IRRIGATION PLAN	
L-12 DETAILS	IR-8 IRRIGATION PLAN	
	IR-9 IRRIGATION PLAN	
	IR-10 IRRIGATION DETAILS	
	IR-11 IRRIGATION DETAILS	

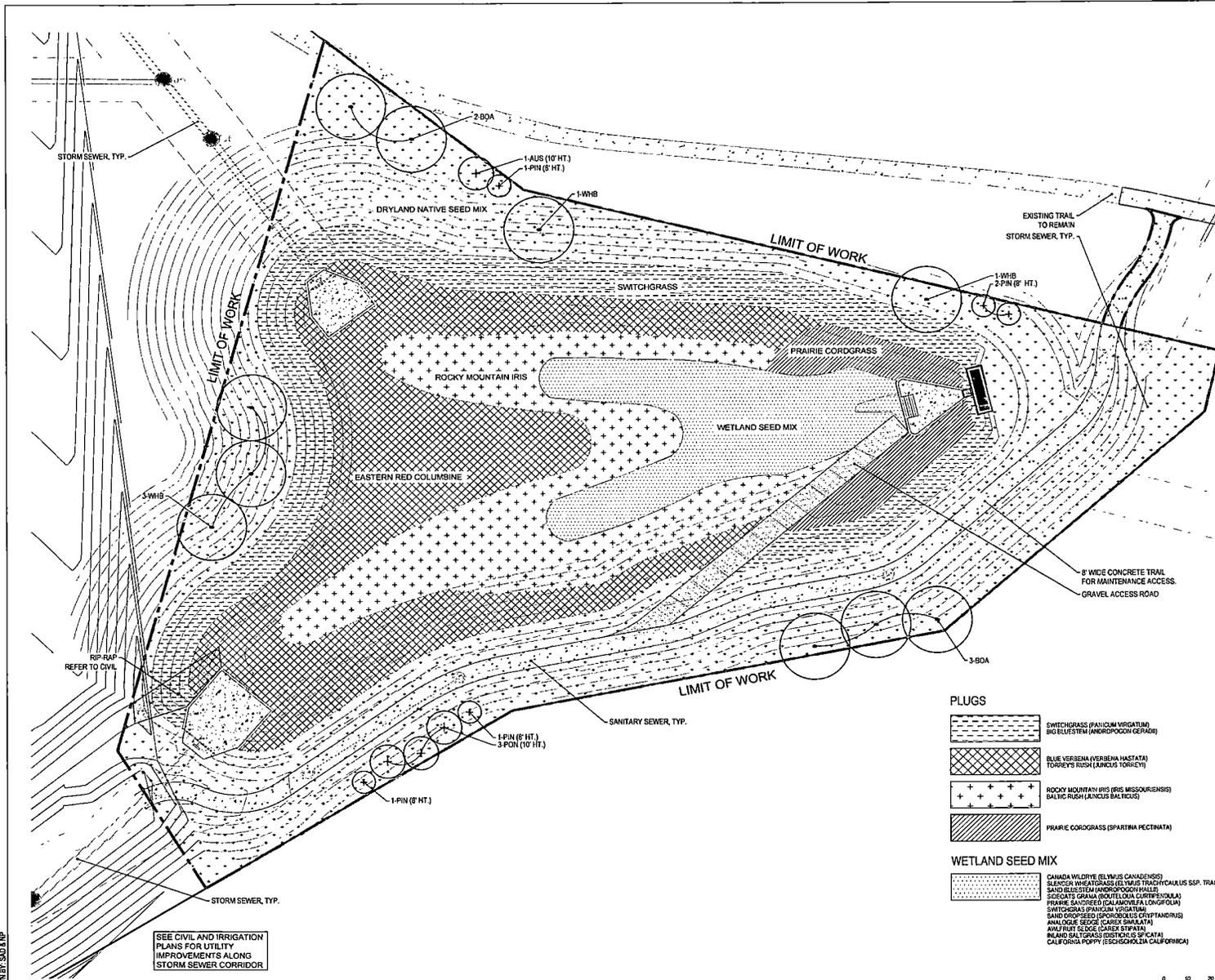
MIDTOWN AT CLEAR CREEK CONTEXT MAP



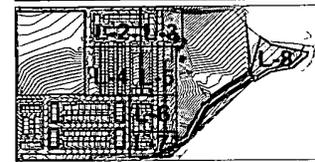
FILING SEVEN SHEET LEGEND



CHECKED BY: JLN
 DRAWN BY: SLD/LJP



FILING SEVEN SHEET KEY MAP



NORRIS DESIGN
 www.norris-design.com
 1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1186
 F 303.892.1186

REDLAND
 Engineering and Construction
 1000 West 10th Street, Suite 100
 Fort Collins, CO 80521

LEGEND

- MATCHLINE
- LIMIT OF WORK
- PROPERTY LINE
- EASEMENT
- 4' SIDEWALK - VARIABLE PLACEMENT
- DECIDUOUS CANOPY TREE
- SMALL MULTI-STEM ORNAMENTAL TREE
- SINGLE-STEM ORNAMENTAL TREE
- EVERGREEN TREE
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- PERENNIALS
- ORNAMENTAL GRASS
- 3/4" BLACK GRANITE ANGULAR ROCK BED REF: MATERIALS SCHEDULE
- TAN CRUSHER FINES REF: MATERIALS SCHEDULE
- SOD
- DRYLAND SEED MIX
- ANNUALS - 8" O.C.
- SAND SET BRICK PAVERS REF: MATERIALS SCHEDULE ONLY
- CONCRETE FLATWORK TYPE 1 REF: CIVIL ENGINEERING PLANS
- METAL EDGER REF: MATERIALS SCHEDULE ONLY
- 1" WIDE CONCRETE BOARD FORMED WALL
- 1.5" WIDE CONCRETE BOARD FORMED WALL
- 2" WIDE CONCRETE BOARD FORMED WALL
- MSE RETAINING WALL RE: CIVIL
- CLIMBING WALL CUSTOM DESIGN BUILD
- STREET LIGHT REF: ELECTRICAL PLANS

PLUGS

- SWITCHGRASS (Panicum virgatum) NO BLUESTEM (Andropogon gerardii)
- BLUE VERISERA (Verbena hastata) TORREYS RUSH (Aeluropus torreyi)
- ROCKY MOUNTAIN IRIS (Iris missouriensis) BALD RUSH (Aeluropus balticus)
- PRAIRIE CORDGRASS (Spartina pectinata)

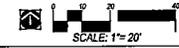
WETLAND SEED MIX

- CANADA MILDRYE (Elymus canadensis) SLENDER WHEATGRASS (Elymus trachycalus ssp. trachycalus) SAND BLUESTEM (Andropogon furcatus) SODGEWITS GRAMA (Prostloca carteriana) PRARE SANDRICE (Calamagrostis longiflora) SWITCHGRASS (Panicum virgatum) SAND CRUSHER FINES (CALAMAGROSTIS LONGIFLORA) ANNUALS SEED (CAREX SPURATA) AMALFUT SEDGE (CAREX SPURATA) PRAIRIE SALTPLESS (DISTICHIS SPICATA) CALIFORNIA POPPY (ESCHOLZIA CALIFORNICA)

SEE CIVIL AND IRRIGATION PLANS FOR UTILITY IMPROVEMENTS ALONG STORM SEWER CORRIDOR

NOTES

1. ALL BEDS ARE BASED OFF OF A 20 DEGREE ANGLE FROM TRUE NORTH. ALUMINUM EDGER SHALL BE INSTALLED AS STRAIGHT AS POSSIBLE AND AT 90 DEGREE ANGLES. THE CONTRACTOR IS ENCOURAGED TO SET UP STRING LINES AS GUIDES WHEN LAYING OUT EDGER AND PLANT MATERIAL. ANY BEDS THAT ARE OUT OF LINE, EVEN SLIGHTLY, WILL BE REJECTED. CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL.
2. ALL BRICK PAVERS ARE BASED OFF OF A 20 DEGREE ANGLE FROM TRUE NORTH. THE RUNNING BOND PATTERN SHALL FOLLOW THIS 20 DEGREE ANGLE AS WELL AS THE BRICK EDGER THAT ADJUTS THE SOD.
3. REFER TO SHEET L-1 FOR MATERIALS SCHEDULE.
4. REFER TO SHEETS L-11 OF THIS DOCUMENT FOR PLANT LIST AND LANDSCAPE NOTES.
5. MEASURE ALL SCORE JOINTS OFF OF PLAN SET.
6. VARIABLE PLACEMENT SIDEWALKS ARE INCLUDED IN THE CONTRACT. PLACEMENT TO BE DETERMINED UPON HOME LAYOUT.
7. NO ALUMINUM EDGER, WEED BARRIER, OR WOOD MULCH SHALL BE PLACED IN RAISED PLANTING AREAS.
8. ALL STREET TREES, SOD, AND IRRIGATION IN TREE LANS ARE TO BE INSTALLED BY THE HOMEOWNER/BUILDER. NOT INCLUDED IN THE BID.



MIDTOWN AT CLEAR CREEK
 FILING SEVEN
 LANDSCAPE CONSTRUCTION DOCUMENTS
 ADAMS COUNTY, COLORADO

PREPARED FOR:
Brookfield Residential
 6405 S. Greenwood Plaza
 8th, Suite 700
 Centennial, CO 80111
 303-780-6662

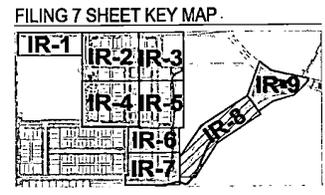
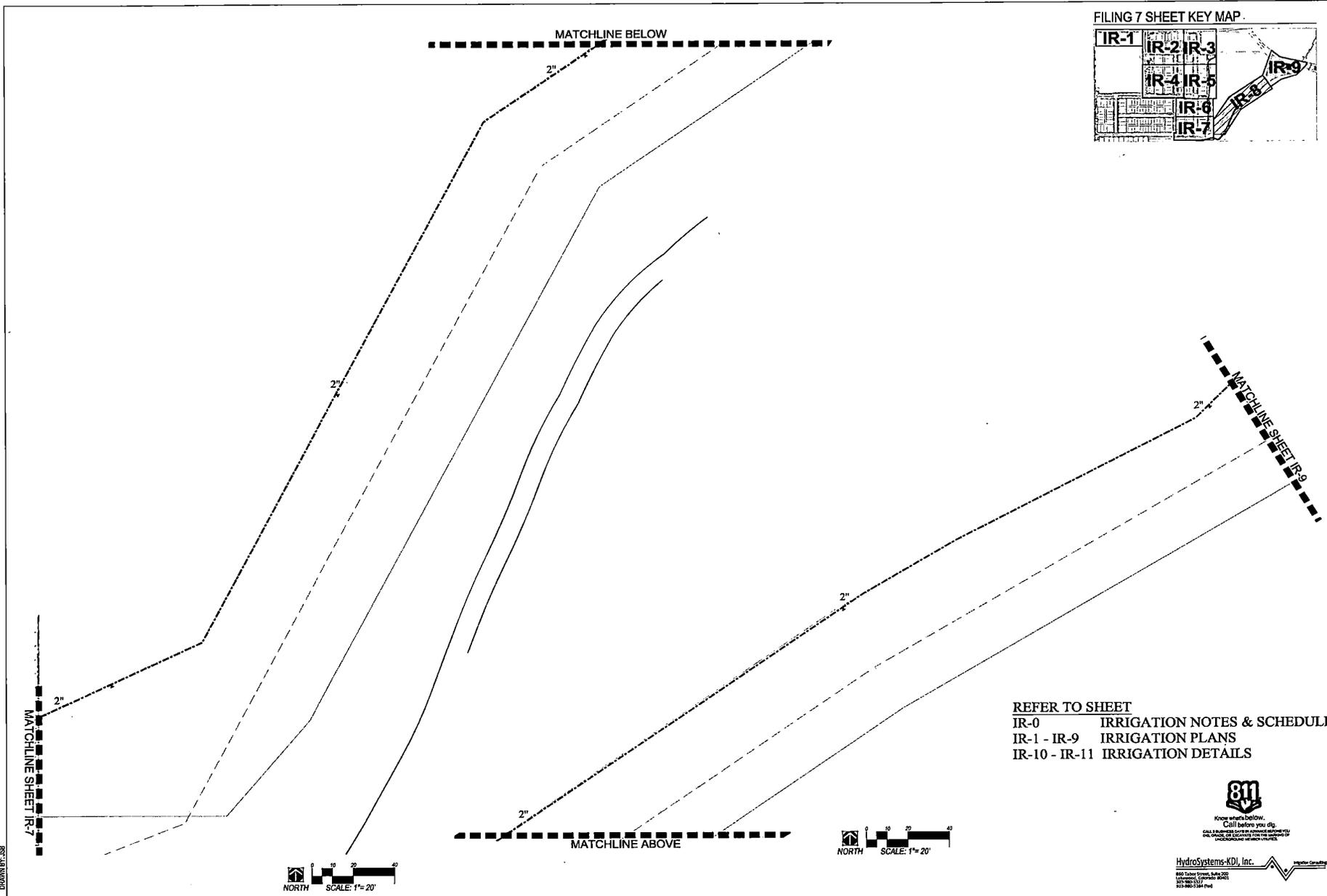


DATE:
 RID SET: 02/20/19

SHEET TITLE:
 LANDSCAPE PLAN

SHEET NUMBER:
 L-8

CHECKED BY: JLN
 DRAWN BY: SJD/LJP



NORRIS DESIGN
 www.norris-design.com
 1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186

REDLAND
 Engineering Great Places
 1000 West 10th Street, Suite 100
 Fort Collins, CO 80521
 P 970.221.1100

MIDTOWN AT CLEAR CREEK
 FILING SEVEN
 LANDSCAPE CONSTRUCTION DOCUMENTS
 ADAMS COUNTY, CO, 67600

PREPARED FOR:
Brookfield Residential
 6455 S. Greenwood Plaza Blvd, Suite 700
 Centennial, CO 80111
 303.790.6602



DATE: _____
 BID SET: 03/24/2018

REFER TO SHEET
 IR-0 IRRIGATION NOTES & SCHEDULE
 IR-1 - IR-9 IRRIGATION PLANS
 IR-10 - IR-11 IRRIGATION DETAILS



HydroSystems-KDI, Inc.
 850 Tabor Forest, Suite 200
 Loveland, CO 80540
 P 970.221.1100

SHEET TITLE:
 IRRIGATION
 PLAN

SHEET NUMBER:
 IR-8

CHECKED BY: KID
 DRAWN BY: SB

APPENDIX B
DETENTION POND DETAILS



Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 01	There are many sections within this FDP where the text could be simplified. There is a lot of repetition. The FDP should not be used to....	FPD text has been simplified where appropriate.
Layla Bajelan	PLN 02	Page 2, Section B- This section notes that this FDP is consistent with the approved PUD, however, this should be changed to Preliminary Development Plan (PDP).	Comment Acknowledged – corrected
Layla Bajelan	PLN 03	Page 2, Section D- This sentence “TWO TYPES OF TOWNHOME UNITS ARE PROPOSED, BOTH ALLEY-LOADED WITH FRONT PORCHES TO THE STREET, GREEN COURT OR OPEN SPACE.” Seems to be missing another attached housing type, please revise.	Comment Acknowledged – There are only two types of proposed Townhomes. The chart on page 3 has been updated to reduce the confusion.
Layla Bajelan	PLN 04	Page 2, Section D- Define the range of square footage of the housing units.	Comment Acknowledged – square footage range has been included
Layla Bajelan	PLN 05	Page 2, Section E- There is a typo within this sentence “ALLEYS AND PRIVATE DRIVES WILL BE USE TO ACCESS GARAGES AND PARKING FOR THE HOMES IN THE FDP.”	Comment Acknowledged – corrected

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 06	Page 2, Section F- There is a typo within this sentence “THE HELP ENSURE A PEDESTRIAN-FRIENDLY ENVIRONMENT, THE PLANNED CIRCULATION PATTERNS ALLOW FOR DISTRIBUTION AND DISBURSEMENT OF INTERNAL TRAFFIC THROUGH THE DEVELOPMENT.”	Comment Acknowledged – sentence removed
Layla Bajelan	PLN 07	Page 2, Section F- Again, this section should refer back to the PDP, “FILING THIRTEEN WILL GAIN ACCESS FROM W 68 TH AVE. AND W 67 TH AVE. STANDARDS APPROVED AS PART OF THE PUD.”	Comment Acknowledged – corrected
Layla Bajelan	PLN 08	Page 2, Section G- Who will own the common areas?	Comment Acknowledged – All common area will be owned and maintained by Midtown Clear Creek Metro District (MCCMD).

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 09	<p>The active recreation that is proposed appears to not meet the minimum requirements. The dog park, play lawn, and gathering spaces do not count as active recreation. The play lawn appears to be just grass/turf. Why is this active open space? How is a dog park active recreation for a person? Similar to Filing No. 12, there is concern from the residents that the open space and amenities are not ideal.</p>	<ol style="list-style-type: none"> 1) At the neighborhood meeting held on 10/02/2023, several residents voice their desire for more adult recreation spaces, they said the community is full of kid-oriented parks. 2) We believe that a play lawn meets the intent of providing active open space allowing a space to toss a Frisbee or kick a ball. To activate the play lawns, we have increased the play lawn areas to allow for space equivalent to a volleyball court as well as include corn hole features near the main plaza. At the neighborhood meeting referenced above, the residents expressed a desire for turf/flex lawn space.
Layla Bajelan	PLN 10	<p>Typically, we would like to see parameters, such as x amount of bushes and x amount of trees per x amount of linear feet, but the proposed landscape plan is too detailed and would cause a minor amendment to be required if someone were to propose any minor change to the plan. This will be included as supplemental documentation with the FDP.</p>	<p>Comment Acknowledged – The detailed Landscape Sheets have been removed from the FDP and placed in a separate Supplemental Landscape Design Development set.</p>

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 11	Was parking on W. 68 th Avenue included as park of the required parking counts for any other filing?	No, the 7 on-street parking spaces on W. 68 th Ave are not part of any past filings. The sidewalk adjacent to these spots have not been constructed with previous filings so there would have been no access to the spots to count them. Also, this area has not been within the boundary of previous filings.
Layla Bajelan	PLN 12	All setbacks appear to meet the requirements set out within the 3 rd Amendment to the PDP.	Comment Acknowledged –
Layla Bajelan	PLN 13	Setbacks and height requirements for community amenities should be included within the FDP.	Comment Acknowledged – minimum building setback and maximum building height for community amenities has been added to Sheet 2 of 7 and 7 of 7 of the FDP.
Christine Fitch Attorney Review		Please revise plat pursuant to ROW and planner comments and resubmit.	Revised as requested.
Laurie Clark Development Engineering	ENG 2	Property is in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is required, and a State Permit COR400000 WILL be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.	A SWQ Permit application has been sent in with a grading permit.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Laurie Clark	ENG 2	Property is in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is required, and a State Permit COR400000 WILL be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.	A SWQ Permit application has been sent in with a grading permit.
Laurie Clark	ENG 3	Engineering Review case EGR2023-00044 is currently under review. Drainage Addendum Memo, Traffic Conformance Letter and Construction Documents were submitted. An Operations and Maintenance Manual (O&M) will be required for the proposed drainage facilities that also includes the detention pond serving as the outfall for Filing 13.	O&M manual for the existing pond has been supplied with this submittal.
Laurie Clark	ENG 4	If the applicant proposes to import greater than 10 CY of soil to this site, additional permitting is required.	Noted, currently the goal is to have the site earthwork balance.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		Per Section 4-04-02-02, of the Adams County Development Standards and Regulations, a Temporary or Special Use Permit is required to ensure that only clean, inert soil is imported into any site within un-incorporated Adams County. A Conditional Use Permit will be required if the importation exceeds 500,000 CY.	
Laurie Clark	ENG 5	A Subdivision Improvements Agreement (SIA) will be required for public improvements.	Noted, SIA will be submitted.
Laurie Clark	ENG 6	No building permits will be issued until all public improvements have been constructed, inspected, and preliminarily accepted by the Adams County Public Works Department.	Noted, thank you.
Laurie Clark	ENG 7	The developer is responsible for the repair or replacement of any broken or damaged public infrastructure.	Noted, thank you.
Laurie Clark	ENG 8	Applicant should coordinate with Adams County Public Works staff concerning a CIP project that may impact W 68 th Ave.	Noted, thank you.
Megan Grant Environmental Analyst Review	ENV 1	The subject parcel is a historic landfill (MBS Industries/5 Part Dev) and part of a reclaimed gravel mine	See attached letter from A.G. Wassenaar, Inc. dated 1/10/2024.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		<p>(North Pecos Center, 55.4 acres) site. The landfill application for fly ash, industrial waste, and solidified liquids from CSI (62nd and Huron) was rejected and the pit was filled with concrete and asphalt and covered under a court order with Sunstrand. Our records do not indicate environmental covenants or restrictions on the subject parcel. Refer to letter from Colorado Geological Survey regarding issues with fill and waste materials in fill. Response to these issues will be required for Adams County review.</p>	
	ENV 2	<p>An inert fill permit must be obtained prior to importing any volume of fill material onto the parcel as part of site development. The permit type will depend on the duration and total volume of fill imported to the site.</p>	<p>Noted, currently the goal is to have the site earthwork balance so no import will be needed.</p>
David Dittmer Prelim Plat	ROW 1	<p>Ownership is vested in Midtown LLC. The Title BINDER provided is not a title commitment. A commitment with a Schedule A and B is required for review and dated within 30 days of the application. This</p>	<p>Note, a commitment will be provided with this submittal.</p>

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		Title Commitment must provide hyperlinks to all cited documents or an abstract.	
David Dittmer Prelim Plat	ROW 2	A new Statement of Authority must be provided for Midtown LLC. The one recorded at Rec. #2013000000897 has different officers stated and must have two of these officers to bind the LLC. It must be recorded.	New statement of authority has been provided with this submittal.
David Dittmer Prelim Plat	ROW 3	The vesting deed cited in the ownership statement is incorrect. This cites Carma not Midtown LLC.	Please see the state filed Articles of Amendment regarding the name change from Carma to Midtown LLC supplied with this submittal.
David Dittmer Prelim Plat	ROW 4	Correct the distance in course 5 within the 9 course vector descriptions. Should read 61.88' not 57.02'	Revised as requested.
David Dittmer Prelim Plat	ROW 5	Need to revise the illegible portion of the dedication statement for review. See application guidelines and checklist for approved dedication statements and formatting. Need to include "PRELIMINARY PLAT" in the name and style.	Revised as requested.
David Dittmer Prelim Plat	ROW 6	Below the dedication statement: Executed this ____ day of _____, 202__ OWNER: Midtown LLC	Revised as requested.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		BY: [TYPE ENTITIES NAMES BELOW SIGNATURE LINE] MUST MATCH THE SOA AS REQUESTED	
David Dittmer Prelim Plat	ROW 7	Affirmation should read: THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS BY [TITLE OF SIGNATORY(S) AS FOR/OFF MIDTOWN LLC	Revised as requested.
David Dittmer Prelim Plat	ROW 8	With the inclusion of the Metro District, we need a copy of their by-laws or appointment of the individual who will sign on behalf of the district to verify their ability to accept the dedications.	District will no longer be required to sign the plat since Midtown, LLC owns the entire property being platted.
David Dittmer Prelim Plat	ROW 9	No recording information blanks will be allowed on the Final Plat. They can be blank for the preliminary.	Noted, thank you.
David Dittmer Prelim Plat	ROW 10	No colored ink. Remove all red and blue inks.	Revised as requested.
David Dittmer Prelim Plat	ROW 11	Missing Tract labels on sheets. See comments on plat.	Revised as requested.
David Dittmer Prelim Plat	ROW 12	Add case number to top right-hand corner of all sheets. (PRC2023-00023)	Revised as requested.
David Dittmer Final Plat	ROW 1	Comments as provided on the Preliminary Plat will hold true to the final plat, except:	Revisions to the preliminary plat will be completed on the final plat as requested.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		a. Remove the Planning Commission Approval as they will not hear this again b. Revise Ownership and Dedication Statement by removing “-PRELIMINARY PLAT” c. Add clerk and recorders block. d. Provide a Title Commitment e. Revise the Dedication Statement, Notary Affirmation, Acknowledgement, Metro Dist. Signature, etc. f. All citations must be provided from the previous blank lines to the recorded document	
David Dittmer Final Plat	ROW 2	Addressing will be provided at the end for the next review to place on the final plat. PUD Comments:	Noted, thank you.
David Dittmer PUD	ROW 1	Case number on all sheets	Revised as requested.
David Dittmer PUD	ROW 2	Revise vesting deed as it is incorrect in the legal.	Please see the state filed Articles of Amendment supplied with this submittal.
David Dittmer PUD	ROW 3	If the Planning Commission needs to hear this PUD, add their recommendation block.	FDP only goes to County Commissioners, planning has not signed FDP’s in previous filings.
David Dittmer PUD	ROW 5	Certificate of Ownership is incorrect. State correct entity owning the property Midtown LLC. Type name of signatory and title.	Revised as requested.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
David Dittmer PUD	ROW 6	Correct the Notary Affirmation as with the plats.	Revised as requested.
Cornelia Warnke Neighborhood Services Review		No Comments	Comment Acknowledged
Tyler Hopkins Metro Water Recovery	Email	Metro will need to see a sanitary sewer plan for this project.	Sanitary sewer plan was submitted with the EGR application and will be provided as part of this submittal.
Century Link	Letter	Qwest Corporation d/b/a CENTURYLINK (“CenturyLink”) has reviewed the request for the project described above and has determined that it has No Comments/No Objections.	Noted, thank you.
ACFR	Letter	See attached comment letter provided by ACFR	All comments were labeled as note only and no response was required. A construction document set will be provided to ACFR for a detailed review.
Midtown Metro District Legal	Email	Redlines provided with email	Revised as requested
Resident Letter From Brandon Best	Letter	Resident letter summary: 1) Reduced open space – 2) promised the west side would not be developed due to soil contamination 3) residents promised additional open space – 4) strongly encourages the County to push back against this proposal.	The east end of Midtown has always been planned for residential housing the PDP was revised to lower the density in this area. The proposed FDP exceeds the minimum required open space for the filing.



Colorado Secretary of State
 Date and Time: 03/31/2011 11:15 AM
 ID Number: 20051469646
 Document number: 20111191897
 Amount Paid: \$25.00

Document must be filed electronically.
 Paper documents will not be accepted.

Document processing fee
 Fees & forms/cover sheets
 are subject to change.

\$25.00

To access other information or print
 copies of filed documents,
 visit www.sos.state.co.us and
 select Business.

ABOVE SPACE FOR OFFICE USE ONLY

Articles of Amendment

filed pursuant to §7-90-301, et seq. and §7-80-209 of the Colorado Revised Statutes (C.R.S.)

ID number: 20051469646
 1. Entity name: Carma Westminster, LLC
(If changing the name of the limited liability company, indicate name BEFORE the name change)

2. New Entity name: Midtown LLC
 (if applicable)

3. Use of Restricted Words *(if any of these terms are contained in an entity name, true name of an entity, trade name or trademark stated in this document, mark the applicable box):*

"bank" or "trust" or any derivative thereof
 "credit union" "savings and loan"
 "insurance", "casualty", "mutual", or "surety"

4. Other amendments, if any, are attached.

5. If the limited liability company's period of duration as amended is less than perpetual, state the date on which the period of duration expires:

 (mm/dd/yyyy)

OR

If the limited liability company's period of duration as amended is perpetual, mark this box:

6. (Optional) Delayed effective date: _____
 (mm/dd/yyyy)

Notice:

Causing this document to be delivered to the secretary of state for filing shall constitute the affirmation or acknowledgment of each individual causing such delivery, under penalties of perjury, that the document is the individual's act and deed, or that the individual in good faith believes the document is the act and deed of the person on whose behalf the individual is causing the document to be delivered for filing, taken in conformity with the requirements of part 3 of article 90 of title 7, C.R.S., the constituent documents, and the organic statutes, and that the individual in good faith believes the facts stated in the document are true and the document complies with the requirements of that Part, the constituent documents, and the organic statutes.

This perjury notice applies to each individual who causes this document to be delivered to the secretary of state, whether or not such individual is named in the document as one who has caused it to be delivered.

7. Name(s) and address(es) of the individual(s) causing the document to be delivered for filing:

Seedig	Sarah	Niemiec	
<small>(Last)</small>	<small>(First)</small>	<small>(Middle)</small>	<small>(Suffix)</small>
1200 17th Street			
<small>(Street name and number or Post Office Box information)</small>			
Suite 2400			
Denver	CO	80202	
<small>(City)</small>	<small>(State)</small>	<small>(Postal/Zip Code)</small>	
	United States		
<small>(Province – if applicable)</small>	<small>(Country – if not US)</small>		

(The document need not state the true name and address of more than one individual. However, if you wish to state the name and address of any additional individuals causing the document to be delivered for filing, mark this box and include an attachment stating the name and address of such individuals.)

Disclaimer:

This form, and any related instructions, are not intended to provide legal, business or tax advice, and are offered as a public service without representation or warranty. While this form is believed to satisfy minimum legal requirements as of its revision date, compliance with applicable law, as the same may be amended from time to time, remains the responsibility of the user of this form. Questions should be addressed to the user's attorney.

Commenting Division: ROW Review

Name of Reviewer: David Dittmer

Date: 12/14/2023

Email:

Resubmittal Required

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

Preliminary Plat Comments:

No colored ink **Revised**

ROW1: Ownership is vested in Midtown LLC. The Title BINDER provided is not a title commitment. A commitment with a Schedule A and B is required for review and dated within 30 days of the application. This Title Commitment must provide hyperlinks to all cited documents or an abstract. **Noted**

ROW2: A new Statement of Authority must be provided for Midtown LLC. The one recorded at Rec. #201300000897 has different officers stated and must have two of these officers to bind the LLC. It must be recorded. **Noted**

ROW3: The vesting deed cited in the ownership statement is incorrect. This cites Carma not Midtown LLC. **Noted**

ROW4: Correct the distance in course 5 within the 9 course vector descriptions. Should read 61.88' not 57.02' **Revised**

ROW5: Need to revise the illegible portion of the dedication statement for review. See application guidelines and checklist for approved dedication statements and formatting. Need to include "PRELIMINARY PLAT" in the name and style. **Revised**

ROW6: Below the dedication statement: **Revised**

Executed this ____ day of _____, 202__

OWNER: Midtown LLC

BY: [TYPE ENTITIES NAMES BELOW SIGNATURE LINE] MUST MATCH THE SOA AS REQUESTED

ROW7: Affirmation should read: THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS BY [TITLE OF SIGNATORY(S) AS _____ FOR/OF MIDTOWN LLC **Revised**

ROW8: With the inclusion of the Metro District, we need a copy of their by-laws or appointment of the individual who will sign on behalf of the district in order to verify their ability to accept the dedications. **District removed**

ROW9: No recording information blanks will be allowed on the Final Plat. They can be blank for the preliminary. **Noted**

ROW10: No colored ink. Remove all red and blue inks. **Revised**

ROW11: Missing Tract labels on sheets. See comments on plat. **Revised**

ROW12: Add case number to top right-hand corner of all sheets. (PRC2023-00023) **Added**

Final Plat Comments: **Noted**

ROW1: Comments as provided on the Preliminary Plat will hold true to the final plat, except:

- a. Remove the Planning Commission Approval as they will not hear this again
- b. Revise Ownership and Dedication Statement by removing "-PRELIMINARY PLAT"
- c. Add clerk and recorders block.
- d. Provide a Title Commitment
- e. Revise the Dedication Statement, Notary Affirmation, Acknowledgement, Metro Dist. Signature, etc.
- f. All citations must be provided from the previous blank lines to the recorded document

ROW2: Addressing will be provided at the end for the next review to place on the final plat.

PUD Comments:

ROW1: Case number on all sheets

ROW2: Revise vesting deed as it is incorrect in the legal.

ROW3: If the Planning Commission needs to hear this PUD, add their recommendation block.

ROW5: Certificate of Ownership is incorrect. State correct entity owning the property Midtown LLC. Type name of signatory and title.

ROW6: Correct the Notary Affirmation as with the plats.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

From: [Yvonne Thurtell](#)
To: [Layla Bajelan](#); [David Dittmer](#)
Cc: [Sandy Munoz](#); [Ian Cortez](#)
Subject: RE: Request for Comments- PRC2023-00023; Midtown Filing No. 13
Date: Tuesday, December 5, 2023 10:58:57 AM
Attachments: [Midtown at Clear Creek Flg 13 Markup.pdf](#)

Hello,

I've attached some markups to the plat that need to be corrected. Pg 1 & 3 for sure, pg 7 not a big deal, but might as well get it right.

- Pg 1 – error in distance in the 6th to last call. Should be 61.88 feet, not 57.02 **Revised**
- Pg 1 – Dedication Statement, illegible as some wording overlaps others **Revised**
- Pg 1 – Owner Signature Block is missing and the Notary Signature Block needs updated to show Midtown LLC as owner (not Midtown Facility LLC) **Revised**
- Pg 1 – Metro District. The name of the District has changed to Midtown at Clear Creek Metropolitan District per Rec # 2018000067796. Need to change Signature Block and Notary Acknowledgement. ****Also**, we need to know why the metro dist is signing the plat. Are they accepting easements only or ownership of all the Tracts as listed in the Tract Table? The Signature Block can say something like 'MCCMD as to easements granted herein' or 'MCCMD as to Tracts____' **Metro District has been removed form the plat**
- Pg 3 – Correct Line Table, L11 to reflect correct distance of 61.88 Feet **Revised**
- Pg 7 – Bottom of page where it says 'See Sheet 2' I believe should say ' See Sheet 3' as that's the only page that shows all of Tract L **Revised**

I'm not sure if Note #9 on pg 2 still needs to be on there? If so, does the area need to be shown on the map (like a flood plain)? I didn't see it defined on the map. This could affect values depending on where it is. I briefly looked at the document and it appears to cover the entire area of Flg 13 – so guessing it doesn't apply, otherwise they couldn't build there.

The environmental covenant covered all of Midtown, since remediation has been complete there is a no further action letter that has been provided by the CDPHE allowing for residential construction. The covenant also addresses the soil management plan that must be followed during construction.

Yvonne Thurtell, GIS Specialist, Adams County, Colorado
ADAMS COUNTY, COLORADO
4430 S Adams County Pkwy, Suite C2100
Brighton, CO 80601
o: 720.523.6703 | ythurtell@adcogov.org
www.adcogov.org

From: Layla Bajelan <LBajelan@adcogov.org>
Sent: Wednesday, November 22, 2023 7:23 PM
To: Layla Bajelan <LBajelan@adcogov.org>
Subject: Request for Comments- PRC2023-00023; Midtown Filing No. 13

Request for Comments

MIDTOWN AT CLEAR CREEK – FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

PURPOSE

THE PURPOSE OF THIS PLAT IS TO CREATE 79 LOTS, 12 TRACTS, AND RIGHT-OF-WAY.

SHEET 1 OF 9

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND BEING A PORTION OF SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2007000079792 THE OFFICIAL RECORDS OF THE ADAMS COUNTY, COLORADO CLERK AND RECORDER'S OFFICE, SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 4, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4 BEARS NORTH 89°48'22" WEST, A DISTANCE OF 2643.63 FEET WITH ALL BEARINGS HEREON REFERENCED TO SAID LINE;

THENCE ALONG SAID NORTH LINE, NORTH 89°48'22" WEST, A DISTANCE OF 769.03 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°11'38" WEST, A DISTANCE OF 40.00 FEET TO THE NORTHEASTERLY CORNER OF SAID SPECIAL WARRANTY DEED AND THE POINT OF BEGINNING;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARY OF SAID SPECIAL WARRANTY DEED, THE FOLLOWING NINE (9) COURSES:

1. SOUTH 38°21'59" EAST, A DISTANCE OF 194.84 FEET;
2. SOUTH 51°23'53" EAST, A DISTANCE OF 128.80 FEET;
3. SOUTH 15°37'26" WEST, A DISTANCE OF 335.11 FEET;
4. SOUTH 31°14'28" EAST, A DISTANCE OF 73.46 FEET;
5. SOUTH 58°45'32" WEST, A DISTANCE OF 225.78 FEET;
6. SOUTH 54°30'23" WEST, A DISTANCE OF 236.69 FEET;
7. SOUTH 27°17'19" WEST, A DISTANCE OF 306.52 FEET;
8. SOUTH 39°46'32" WEST, A DISTANCE OF 63.23 FEET;
9. SOUTH 89°57'07" WEST, A DISTANCE OF 91.41 FEET TO THE EASTERLY BOUNDARY OF THE PLAT OF MIDTOWN AT CLEAR CREEK – FILING NO. 7, RECORDED AT RECEPTION NO. 201600009355, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY BOUNDARY, THE FOLLOWING NINE (9) COURSES:

1. NORTH 00°16'34" EAST, A DISTANCE OF 286.85 FEET;
2. NORTH 00°24'51" WEST, A DISTANCE OF 249.02 FEET;
3. NORTH 00°16'34" EAST, A DISTANCE OF 325.54 FEET;
4. SOUTH 89°43'26" EAST, A DISTANCE OF 53.51 FEET;
5. NORTH 00°16'34" EAST, A DISTANCE OF 57.02 FEET; **61.88 Revised**
6. NORTH 89°43'26" WEST, A DISTANCE OF 93.51 FEET;
7. NORTH 00°16'34" EAST, A DISTANCE OF 52.00 FEET;
8. NORTH 89°43'26" WEST, A DISTANCE OF 69.50 FEET;
9. NORTH 00°16'34" EAST, A DISTANCE OF 220.48 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF WEST 68TH AVENUE AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7;

THENCE DEPARTING SAID EASTERLY BOUNDARY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89°48'22" EAST, A DISTANCE OF 595.45 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 13.565 ACRES, (590,905 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **MIDTOWN AT CLEAR CREEK – FILING NO. 13**, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND ~~EASEMENTS AS SHOWN ON THE PLAT~~ (EXCLUDING THOSE GRANTED AND OWNED BY MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT), FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

BY: PETER LAUENER **Ownership Certificate Executed this ___ day of ___, 2024? By: Midtown LLC**

ACKNOWLEDGEMENT
BY: MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY **Name Title**

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS ACKNOWLEDGED BEFORE ME

THIS ___ DAY OF _____ A.D. 20___ BY PETER LAUENER AS PRESIDENT OF MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC



VICINITY MAP
1" = 100'

Why is the Metro Dist signing? Are they just accepting easements or are they accepting ownership of the Tracts? please specify in signature block. 'MCCMD as to....'
Removed

Should this be Clear Creek Station or Midtown at Clear Creek?

OWNERSHIP AND DEDICATION CERTIFICATE: –CONTINUED

EXECUTED THIS ___ DAY OF _____ A.D., 20___

BY: CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1

NAME AS TITLE

ACKNOWLEDGEMENT

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ___ DAY

OF _____ A.D. 20___

BY _____ AS _____

OF CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. **Change name?**

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

TRACT SUMMARY TABLE

TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	692	0.016	LS/DRAINAGE/PA/UTILITY	MCCMD
B	23,926	0.549	PRIVATE ALLEY/ACCESS/UTILITY	MCCMD
C	8,550	0.196	LS/DRAINAGE/PA/UTILITY	MCCMD
D	6,257	0.144	LS/DRAINAGE/PA/UTILITY	MCCMD
E	4,247	0.097	PRIVATE ALLEY/ACCESS/UTILITY	MCCMD
F	195	0.004	LS/DRAINAGE/PA/UTILITY	MCCMD
G	44,479	1.021	OPEN SPACE/UTILITY/DRAINAGE	MCCMD
H	9,166	0.210	LS/DRAINAGE/PA/UTILITY	MCCMD
I	30,716	0.705	PRIVATE ALLEY/ACCESS/UTILITY	MCCMD
J	1,100	0.025	LS/DRAINAGE/PA/UTILITY	MCCMD
K	1,100	0.025	LS/DRAINAGE/PA/UTILITY	MCCMD
L	294,620	6.764	OPEN SPACE/UTILITY/DRAINAGE	MCCMD
TOTAL TRACT AREA	425,048	9.756		
TOTAL LOT AREA	127,233	2.922		
ROW DEDICATION	38,624	0.887		
TOTAL SITE AREA	590,905	13.565		

MCCMD - MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT
LS/DRAINAGE/PA = LANDSCAPING, DRAINAGE, PUBLIC ACCESS

SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

ANTHONY K. PEALL
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38636
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1898

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ___ DAY OF _____ A.D., 20___

CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND

RECORDER, IN THE STATE OF COLORADO, AT _____M. ON THE ___ DAY

OF _____A.D., 20___

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

RECEPTION NO. _____

3					
2					
1					
NO.	REVISION	DATE	BY	CHK	

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	N/A
SHEET	1 OF 9

Illegible
Revised

FOR REVIEW

MIDTOWN AT CLEAR CREEK – FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 9

NOTES

1. BASIS OF BEARINGS: THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE EAST QUARTER CORNER BY A NO. 6 REBAR WITH A 3" ALUMINUM CAP STAMPED "PLS 7276" IN A MONUMENT BOX AND AT THE CENTER-EAST SIXTEENTH CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 26970" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 89°48'22" WEST, A DISTANCE OF 2,643.63 FEET.

2. STORM DRAINAGE FACILITIES STATEMENT: THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.

3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.

4. AZTEC CONSULTANTS, INC. HAS RELIED UPON TITLE COMMITMENT _____ PREPARED BY _____ EFFECTIVE DATE _____ AT 10:00 A.M./P.M. FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.

5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

6. UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.

7. THE MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT (MCOMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH MCOMD, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN AND LANDSCAPE TRACT BETWEEN FRONT PROPERTY LINE AND STREET SHALL BE THE PRIMARY RESPONSIBILITY OF THE HOMEOWNER UNDER THE REQUIREMENTS OF THE MCOMD COVENANTS. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS. HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.

8. THE SURVEYED PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS – ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NOS. 08001C0584H AND 08001C0603H, BOTH MAPS REVISED MARCH 5, 2007.

9. A PORTION OF THIS PLAT IS SUBJECT TO AN ENVIRONMENTAL COVENANT AS RECORDED AUGUST 10, 2007, UNDER RECEPTION NO. 2007000077016.

10. ALL PRIVATE STORM SEWER THAT ORIGINATE WITHIN A PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE OWNED AND MAINTAINED BY THE MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.

Need further comment

ADDRESS TABLE

BLOCK 1		BLOCK 2	
LOT	ADDRESS	LOT	ADDRESS
1	-----	1	-----
2	-----	2	-----
3	-----	3	-----
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		45	-----

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S38°21'59"E	194.84'
L2	S51°23'53"E	128.80'
L3	S31°14'28"E	73.46'
L4	S58°45'32"W	225.78'
L5	S54°30'23"W	236.69'
L6	S39°46'32"W	63.23'
L7	S89°57'07"W	91.41'
L8	N00°24'51"W	249.02'
L9	N00°16'34"E	325.54'
L10	S89°43'26"E	53.51'
L11	N00°16'34"E	57.02'
L12	N89°43'26"W	93.51'
L13	N00°16'34"E	52.00'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L14	N89°43'26"W	69.50'
L15	N00°16'34"E	220.48'
L16	N00°11'38"E	5.00'
L17	N89°48'22"W	13.00'
L18	S89°48'22"E	13.00'
L19	N00°11'38"E	5.05'
L20	S00°11'38"W	30.00'
L21	S00°11'38"W	30.45'
L22	S00°11'38"W	21.16'
L23	S00°11'38"W	28.39'
L24	S44°55'35"E	6.38'
L25	N00°11'53"E	13.00'
L26	S89°48'22"E	27.00'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L27	S00°11'53"W	13.00'
L28	S89°48'22"E	3.01'
L29	N84°05'51"E	25.15'
L30	S00°11'38"W	9.75'
L31	S89°48'22"E	13.00'
L32	N89°48'22"W	13.00'
L33	N00°11'38"E	2.36'
L34	S89°48'22"E	10.00'
L35	S00°11'38"W	8.00'
L36	S00°11'38"W	6.05'
L37	N89°48'22"W	8.50'
L38	S89°48'22"E	7.95'
L39	S00°11'38"W	9.65'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	90°00'00"	5.00'	7.85'
C2	90°00'00"	5.00'	7.85'
C3	90°00'00"	10.00'	15.71'
C4	90°00'00"	10.00'	15.71'
C5	90°00'00"	10.00'	15.71'
C6	90°00'00"	10.00'	15.71'
C7	90°00'00"	10.00'	15.71'
C8	90°00'00"	10.00'	15.71'
C9	90°00'00"	4.50'	7.07'
C10	32°20'27"	9.00'	5.08'
C11	89°59'59"	5.00'	7.85'
C12	90°00'00"	5.00'	7.85'
C13	18°44'53"	14.00'	4.58'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C14	18°44'53"	14.00'	4.58'
C15	90°00'00"	10.00'	15.71'
C16	90°00'00"	40.00'	62.83'
C17	90°00'00"	10.00'	15.71'
C18	90°00'00"	10.00'	15.71'
C19	90°00'00"	5.00'	7.85'
C20	90°00'00"	5.00'	7.85'

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

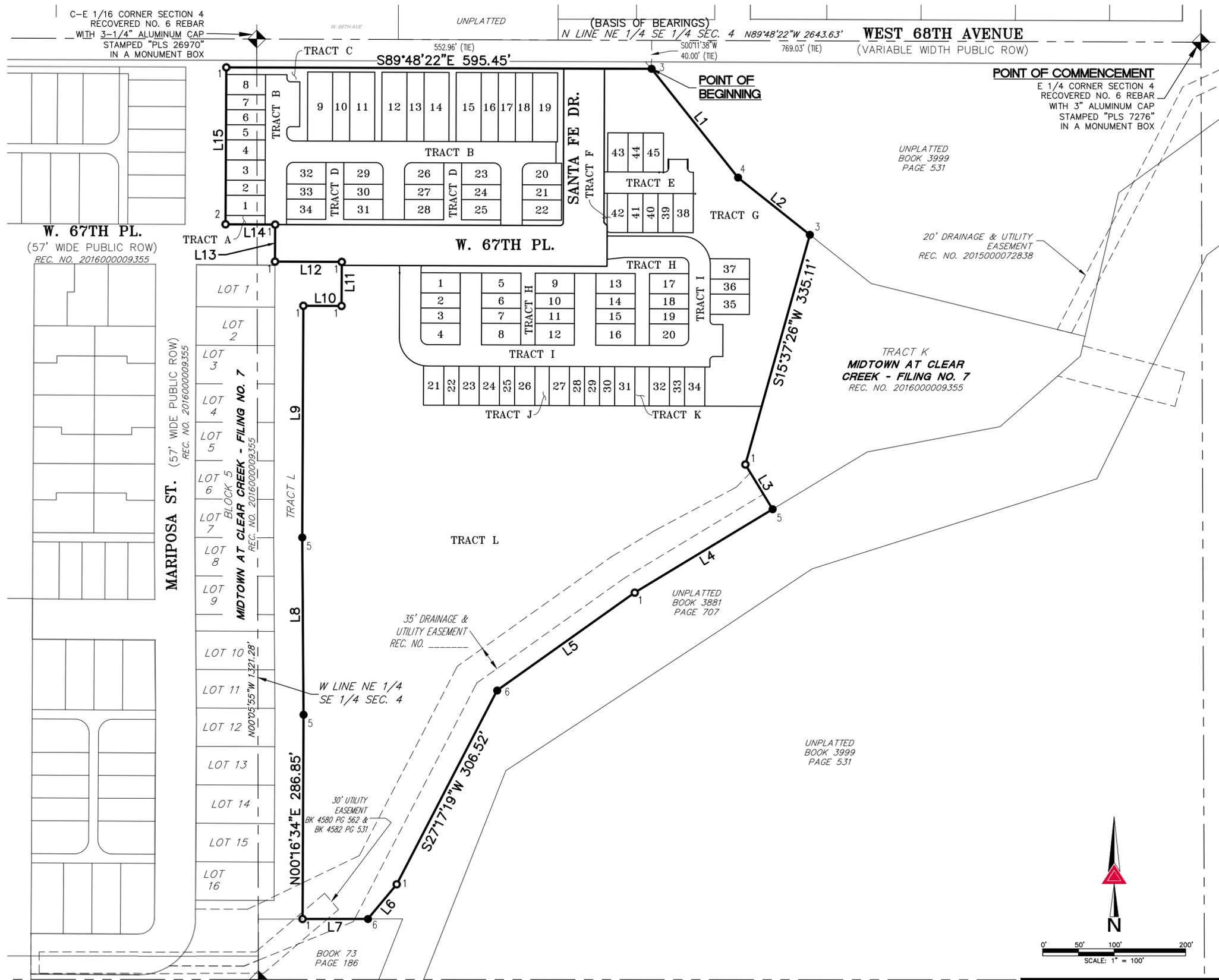
AZTEC
CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
Aztec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	N/A
SHEET 2 OF 9	

MIDTOWN AT CLEAR CREEK – FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

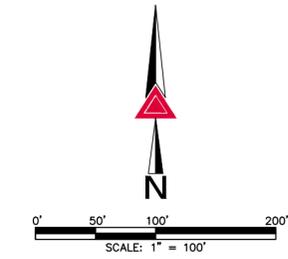
SHEET 3 OF 9



LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S38°21'59"E	194.84'
L2	S51°23'53"E	128.80'
L3	S31°14'28"E	73.46'
L4	S58°45'32"W	225.78'
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L10	S89°43'26"E	53.51'
L11	N00°16'34"E	57.02'
L12	N89°43'26"W	93.51'
L13	N00°16'34"E	52.00'
L14	N89°43'26"W	69.50'
L15	N00°16'34"E	220.48'

61.88 Revised

LEGEND	
	FOUND ALIQUOT CORNER STAMPED AS SHOWN
1	SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38636"
2	SET 1" BRASS DISK STAMPED "AZTEC PLS 38636"
3	FOUND 1" BRASS DISK STAMPED "AZTEC PLS 38064"
4	FOUND 1" BRASS DISK STAMPING ILLEGIBLE
5	FOUND NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
6	FOUND 1" YELLOW PLASTIC CAP STAMPED "BAYER LS 6973"
(ROW)	RIGHT-OF-WAY
##	BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

AZTEC
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	1" = 100'
SHEET 3 OF 9	

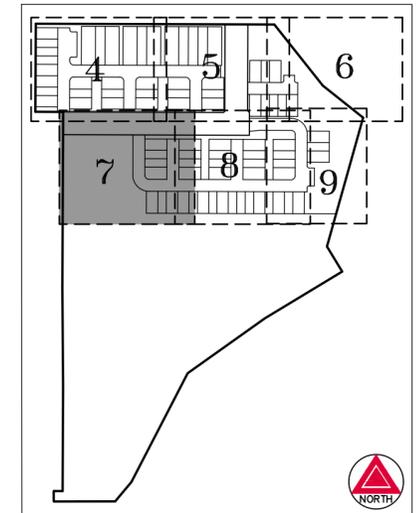
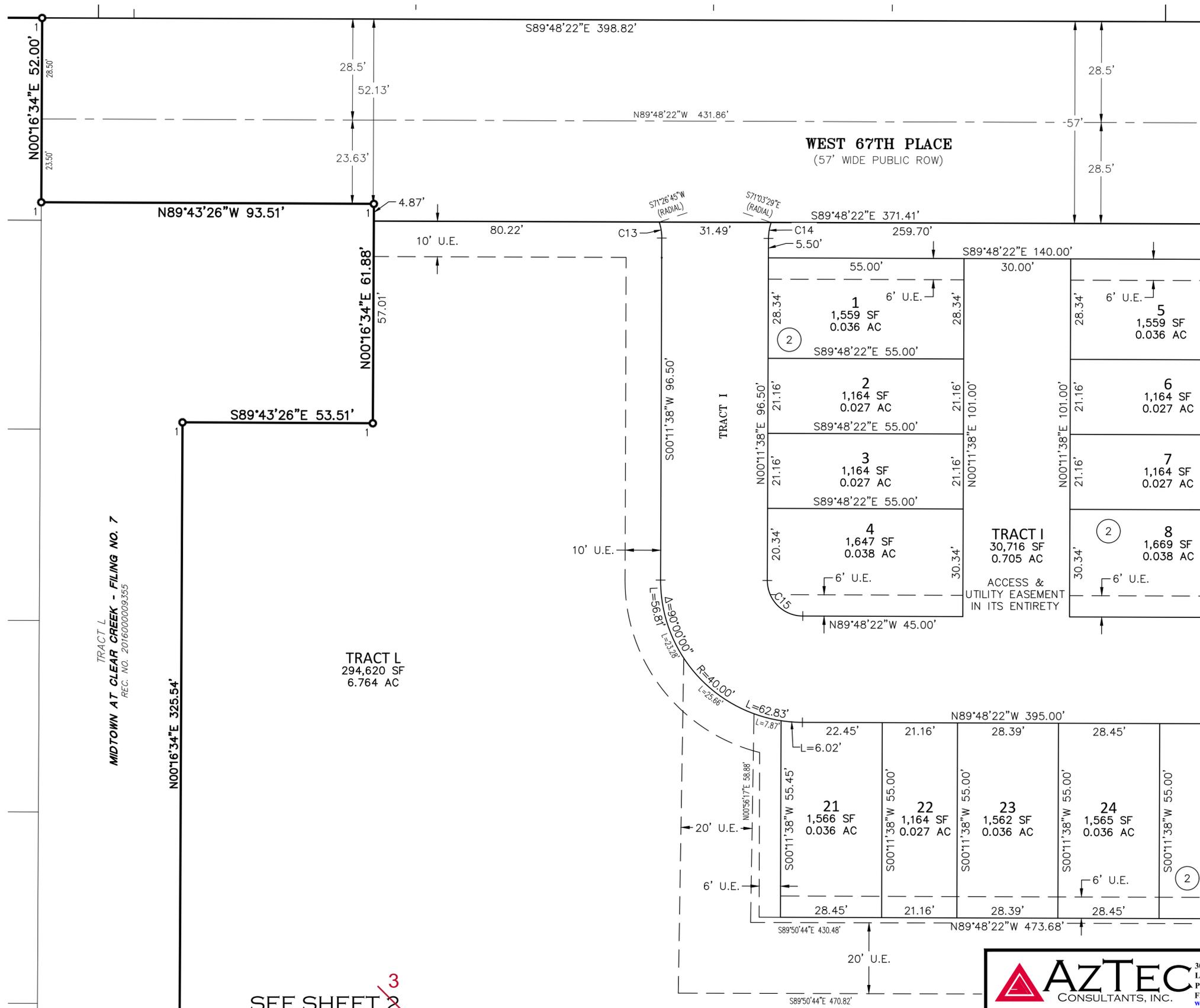
MIDTOWN AT CLEAR CREEK - FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 7 OF 9

SEE SHEET 4

SEE SHEET 4

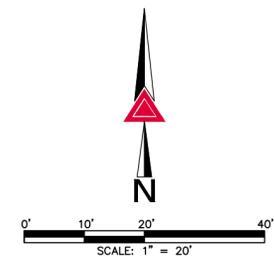


KEY MAP
SCALE: 1" = 300'

SEE SHEET 2
FOR LINE &
CURVE TABLES

SEE SHEET 8

LEGEND	
1	SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38636"
U.E.	UTILITY EASEMENT
(ROW)	RIGHT-OF-WAY
##	BLOCK NUMBER



SEE SHEET 8

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

TRACT L
MIDTOWN AT CLEAR CREEK - FILING NO. 7
REC. NO. 2016000009355

N00°16'34"E 325.54'

TRACT L
294,620 SF
6.764 AC

SEE SHEET 3

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
Aztec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	1" = 20'
SHEET 7 OF 9	

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 01	There are many sections within this FDP where the text could be simplified. There is a lot of repetition. The FDP should not be used to....	FPD text has been simplified where appropriate.
Layla Bajelan	PLN 02	Page 2, Section B- This section notes that this FDP is consistent with the approved PUD, however, this should be changed to Preliminary Development Plan (PDP).	Comment Acknowledged – corrected
Layla Bajelan	PLN 03	Page 2, Section D- This sentence “TWO TYPES OF TOWNHOME UNITS ARE PROPOSED, BOTH ALLEY-LOADED WITH FRONT PORCHES TO THE STREET, GREEN COURT OR OPEN SPACE.” Seems to be missing another attached housing type, please revise.	Comment Acknowledged – There are only two types of proposed Townhomes. The chart on page 3 has been updated to reduce the confusion.
Layla Bajelan	PLN 04	Page 2, Section D- Define the range of square footage of the housing units.	Comment Acknowledged – square footage range has been included
Layla Bajelan	PLN 05	Page 2, Section E- There is a typo within this sentence “ALLEYS AND PRIVATE DRIVES WILL BE USE TO ACCESS GARAGES AND PARKING FOR THE HOMES IN THE FDP.”	Comment Acknowledged – corrected

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 06	Page 2, Section F- There is a typo within this sentence “THE HELP ENSURE A PEDESTRIAN-FRIENDLY ENVIRONMENT, THE PLANNED CIRCULATION PATTERNS ALLOW FOR DISTRIBUTION AND DISBURSEMENT OF INTERNAL TRAFFIC THROUGH THE DEVELOPMENT.”	Comment Acknowledged – sentence removed
Layla Bajelan	PLN 07	Page 2, Section F- Again, this section should refer back to the PDP, “FILING THIRTEEN WILL GAIN ACCESS FROM W 68 TH AVE. AND W 67 TH AVE. STANDARDS APPROVED AS PART OF THE PUD.”	Comment Acknowledged – corrected
Layla Bajelan	PLN 08	Page 2, Section G- Who will own the common areas?	Comment Acknowledged – All common area will be owned and maintained by Midtown Clear Creek Metro District (MCCMD).

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 09	<p>The active recreation that is proposed appears to not meet the minimum requirements. The dog park, play lawn, and gathering spaces do not count as active recreation. The play lawn appears to be just grass/turf. Why is this active open space? How is a dog park active recreation for a person? Similar to Filing No. 12, there is concern from the residents that the open space and amenities are not ideal.</p>	<ol style="list-style-type: none"> 1) At the neighborhood meeting held on 10/02/2023, several residents voice their desire for more adult recreation spaces, they said the community is full of kid-oriented parks. 2) We believe that a play lawn meets the intent of providing active open space allowing a space to toss a Frisbee or kick a ball. To activate the play lawns, we have increased the play lawn areas to allow for space equivalent to a volleyball court as well as include corn hole features near the main plaza. At the neighborhood meeting referenced above, the residents expressed a desire for turf/flex lawn space.
Layla Bajelan	PLN 10	<p>Typically, we would like to see parameters, such as x amount of bushes and x amount of trees per x amount of linear feet, but the proposed landscape plan is too detailed and would cause a minor amendment to be required if someone were to propose any minor change to the plan. This will be included as supplemental documentation with the FDP.</p>	<p>Comment Acknowledged – The detailed Landscape Sheets have been removed from the FDP and placed in a separate Supplemental Landscape Design Development set.</p>

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Layla Bajelan	PLN 11	Was parking on W. 68 th Avenue included as park of the required parking counts for any other filing?	No, the 7 on-street parking spaces on W. 68 th Ave are not part of any past filings. The sidewalk adjacent to these spots have not been constructed with previous filings so there would have been no access to the spots to count them. Also, this area has not been within the boundary of previous filings.
Layla Bajelan	PLN 12	All setbacks appear to meet the requirements set out within the 3 rd Amendment to the PDP.	Comment Acknowledged –
Layla Bajelan	PLN 13	Setbacks and height requirements for community amenities should be included within the FDP.	Comment Acknowledged – minimum building setback and maximum building height for community amenities has been added to Sheet 2 of 7 and 7 of 7 of the FDP.
Christine Fitch Attorney Review		Please revise plat pursuant to ROW and planner comments and resubmit.	Revised as requested.
Laurie Clark Development Engineering	ENG 2	Property is in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is required, and a State Permit COR400000 WILL be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.	A SWQ Permit application has been sent in with a grading permit.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
Laurie Clark	ENG 2	Property is in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is required, and a State Permit COR400000 WILL be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.	A SWQ Permit application has been sent in with a grading permit.
Laurie Clark	ENG 3	Engineering Review case EGR2023-00044 is currently under review. Drainage Addendum Memo, Traffic Conformance Letter and Construction Documents were submitted. An Operations and Maintenance Manual (O&M) will be required for the proposed drainage facilities that also includes the detention pond serving as the outfall for Filing 13.	O&M manual for the existing pond has been supplied with this submittal.
Laurie Clark	ENG 4	If the applicant proposes to import greater than 10 CY of soil to this site, additional permitting is required.	Noted, currently the goal is to have the site earthwork balance.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		Per Section 4-04-02-02, of the Adams County Development Standards and Regulations, a Temporary or Special Use Permit is required to ensure that only clean, inert soil is imported into any site within un-incorporated Adams County. A Conditional Use Permit will be required if the importation exceeds 500,000 CY.	
Laurie Clark	ENG 5	A Subdivision Improvements Agreement (SIA) will be required for public improvements.	Noted, SIA will be submitted.
Laurie Clark	ENG 6	No building permits will be issued until all public improvements have been constructed, inspected, and preliminarily accepted by the Adams County Public Works Department.	Noted, thank you.
Laurie Clark	ENG 7	The developer is responsible for the repair or replacement of any broken or damaged public infrastructure.	Noted, thank you.
Laurie Clark	ENG 8	Applicant should coordinate with Adams County Public Works staff concerning a CIP project that may impact W 68 th Ave.	Noted, thank you.
Megan Grant Environmental Analyst Review	ENV 1	The subject parcel is a historic landfill (MBS Industries/5 Part Dev) and part of a reclaimed gravel mine	See attached letter from A.G. Wassenaar, Inc. dated 1/10/2024.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		<p>(North Pecos Center, 55.4 acres) site. The landfill application for fly ash, industrial waste, and solidified liquids from CSI (62nd and Huron) was rejected and the pit was filled with concrete and asphalt and covered under a court order with Sunstrand. Our records do not indicate environmental covenants or restrictions on the subject parcel. Refer to letter from Colorado Geological Survey regarding issues with fill and waste materials in fill. Response to these issues will be required for Adams County review.</p>	
	ENV 2	<p>An inert fill permit must be obtained prior to importing any volume of fill material onto the parcel as part of site development. The permit type will depend on the duration and total volume of fill imported to the site.</p>	<p>Noted, currently the goal is to have the site earthwork balance so no import will be needed.</p>
David Dittmer Prelim Plat	ROW 1	<p>Ownership is vested in Midtown LLC. The Title BINDER provided is not a title commitment. A commitment with a Schedule A and B is required for review and dated within 30 days of the application. This</p>	<p>Note, a commitment will be provided with this submittal.</p>

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		Title Commitment must provide hyperlinks to all cited documents or an abstract.	
David Dittmer Prelim Plat	ROW 2	A new Statement of Authority must be provided for Midtown LLC. The one recorded at Rec. #2013000000897 has different officers stated and must have two of these officers to bind the LLC. It must be recorded.	New statement of authority has been provided with this submittal.
David Dittmer Prelim Plat	ROW 3	The vesting deed cited in the ownership statement is incorrect. This cites Carma not Midtown LLC.	Please see the state filed Articles of Amendment regarding the name change from Carma to Midtown LLC supplied with this submittal.
David Dittmer Prelim Plat	ROW 4	Correct the distance in course 5 within the 9 course vector descriptions. Should read 61.88' not 57.02'	Revised as requested.
David Dittmer Prelim Plat	ROW 5	Need to revise the illegible portion of the dedication statement for review. See application guidelines and checklist for approved dedication statements and formatting. Need to include "PRELIMINARY PLAT" in the name and style.	Revised as requested.
David Dittmer Prelim Plat	ROW 6	Below the dedication statement: Executed this ____ day of _____, 202__ OWNER: Midtown LLC	Revised as requested.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		BY: [TYPE ENTITIES NAMES BELOW SIGNATURE LINE] MUST MATCH THE SOA AS REQUESTED	
David Dittmer Prelim Plat	ROW 7	Affirmation should read: THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS BY [TITLE OF SIGNATORY(S) AS FOR/OF MIDTOWN LLC	Revised as requested.
David Dittmer Prelim Plat	ROW 8	With the inclusion of the Metro District, we need a copy of their by-laws or appointment of the individual who will sign on behalf of the district to verify their ability to accept the dedications.	District will no longer be required to sign the plat since Midtown, LLC owns the entire property being platted.
David Dittmer Prelim Plat	ROW 9	No recording information blanks will be allowed on the Final Plat. They can be blank for the preliminary.	Noted, thank you.
David Dittmer Prelim Plat	ROW 10	No colored ink. Remove all red and blue inks.	Revised as requested.
David Dittmer Prelim Plat	ROW 11	Missing Tract labels on sheets. See comments on plat.	Revised as requested.
David Dittmer Prelim Plat	ROW 12	Add case number to top right-hand corner of all sheets. (PRC2023-00023)	Revised as requested.
David Dittmer Final Plat	ROW 1	Comments as provided on the Preliminary Plat will hold true to the final plat, except:	Revisions to the preliminary plat will be completed on the final plat as requested.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
		a. Remove the Planning Commission Approval as they will not hear this again b. Revise Ownership and Dedication Statement by removing “-PRELIMINARY PLAT” c. Add clerk and recorders block. d. Provide a Title Commitment e. Revise the Dedication Statement, Notary Affirmation, Acknowledgement, Metro Dist. Signature, etc. f. All citations must be provided from the previous blank lines to the recorded document	
David Dittmer Final Plat	ROW 2	Addressing will be provided at the end for the next review to place on the final plat. PUD Comments:	Noted, thank you.
David Dittmer PUD	ROW 1	Case number on all sheets	Revised as requested.
David Dittmer PUD	ROW 2	Revise vesting deed as it is incorrect in the legal.	Please see the state filed Articles of Amendment supplied with this submittal.
David Dittmer PUD	ROW 3	If the Planning Commission needs to hear this PUD, add their recommendation block.	FDP only goes to County Commissioners, planning has not signed FDP’s in previous filings.
David Dittmer PUD	ROW 5	Certificate of Ownership is incorrect. State correct entity owning the property Midtown LLC. Type name of signatory and title.	Revised as requested.

Midtown Filing 13 – Case number PRC2023-00023

Response Memo Dated 01-19-2024

Reviewer	Comment Number	Comment	Response
David Dittmer PUD	ROW 6	Correct the Notary Affirmation as with the plats.	Revised as requested.
Cornelia Warnke Neighborhood Services Review		No Comments	Comment Acknowledged
Tyler Hopkins Metro Water Recovery	Email	Metro will need to see a sanitary sewer plan for this project.	Sanitary sewer plan was submitted with the EGR application and will be provided as part of this submittal.
Century Link	Letter	Qwest Corporation d/b/a CENTURYLINK (“CenturyLink”) has reviewed the request for the project described above and has determined that it has No Comments/No Objections.	Noted, thank you.
ACFR	Letter	See attached comment letter provided by ACFR	All comments were labeled as note only and no response was required. A construction document set will be provided to ACFR for a detailed review.
Midtown Metro District Legal	Email	Redlines provided with email	Revised as requested
Resident Letter From Brandon Best	Letter	Resident letter summary: 1) Reduced open space – 2) promised the west side would not be developed due to soil contamination 3) residents promised additional open space – 4) strongly encourages the County to push back against this proposal.	The east end of Midtown has always been planned for residential housing the PDP was revised to lower the density in this area. The proposed FDP exceeds the minimum required open space for the filing.



Colorado Secretary of State
 Date and Time: 03/31/2011 11:15 AM
 ID Number: 20051469646
 Document number: 20111191897
 Amount Paid: \$25.00

Document must be filed electronically.
 Paper documents will not be accepted.

Document processing fee
 Fees & forms/cover sheets
 are subject to change.

\$25.00

To access other information or print
 copies of filed documents,
 visit www.sos.state.co.us and
 select Business.

ABOVE SPACE FOR OFFICE USE ONLY

Articles of Amendment

filed pursuant to §7-90-301, et seq. and §7-80-209 of the Colorado Revised Statutes (C.R.S.)

ID number: 20051469646
 1. Entity name: Carma Westminster, LLC
(If changing the name of the limited liability company, indicate name BEFORE the name change)

2. New Entity name: Midtown LLC
 (if applicable)

3. Use of Restricted Words *(if any of these terms are contained in an entity name, true name of an entity, trade name or trademark stated in this document, mark the applicable box):*

"bank" or "trust" or any derivative thereof
 "credit union" "savings and loan"
 "insurance", "casualty", "mutual", or "surety"

4. Other amendments, if any, are attached.

5. If the limited liability company's period of duration as amended is less than perpetual, state the date on which the period of duration expires:

 (mm/dd/yyyy)

OR

If the limited liability company's period of duration as amended is perpetual, mark this box:

6. (Optional) Delayed effective date: _____
 (mm/dd/yyyy)

Notice:

Causing this document to be delivered to the secretary of state for filing shall constitute the affirmation or acknowledgment of each individual causing such delivery, under penalties of perjury, that the document is the individual's act and deed, or that the individual in good faith believes the document is the act and deed of the person on whose behalf the individual is causing the document to be delivered for filing, taken in conformity with the requirements of part 3 of article 90 of title 7, C.R.S., the constituent documents, and the organic statutes, and that the individual in good faith believes the facts stated in the document are true and the document complies with the requirements of that Part, the constituent documents, and the organic statutes.

This perjury notice applies to each individual who causes this document to be delivered to the secretary of state, whether or not such individual is named in the document as one who has caused it to be delivered.

7. Name(s) and address(es) of the individual(s) causing the document to be delivered for filing:

Seedig	Sarah	Niemiec	
<small>(Last)</small>	<small>(First)</small>	<small>(Middle)</small>	<small>(Suffix)</small>
1200 17th Street			
<small>(Street name and number or Post Office Box information)</small>			
Suite 2400			
Denver	CO	80202	
<small>(City)</small>	<small>(State)</small>	<small>(Postal/Zip Code)</small>	
	United States		
<small>(Province – if applicable)</small>	<small>(Country – if not US)</small>		

(The document need not state the true name and address of more than one individual. However, if you wish to state the name and address of any additional individuals causing the document to be delivered for filing, mark this box and include an attachment stating the name and address of such individuals.)

Disclaimer:

This form, and any related instructions, are not intended to provide legal, business or tax advice, and are offered as a public service without representation or warranty. While this form is believed to satisfy minimum legal requirements as of its revision date, compliance with applicable law, as the same may be amended from time to time, remains the responsibility of the user of this form. Questions should be addressed to the user's attorney.

Commenting Division: ROW Review

Name of Reviewer: David Dittmer

Date: 12/14/2023

Email:

Resubmittal Required

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

Preliminary Plat Comments:

No colored ink **Revised**

ROW1: Ownership is vested in Midtown LLC. The Title BINDER provided is not a title commitment. A commitment with a Schedule A and B is required for review and dated within 30 days of the application. This Title Commitment must provide hyperlinks to all cited documents or an abstract. **Noted**

ROW2: A new Statement of Authority must be provided for Midtown LLC. The one recorded at Rec. #201300000897 has different officers stated and must have two of these officers to bind the LLC. It must be recorded. **Noted**

ROW3: The vesting deed cited in the ownership statement is incorrect. This cites Carma not Midtown LLC. **Noted**

ROW4: Correct the distance in course 5 within the 9 course vector descriptions. Should read 61.88' not 57.02' **Revised**

ROW5: Need to revise the illegible portion of the dedication statement for review. See application guidelines and checklist for approved dedication statements and formatting. Need to include "PRELIMINARY PLAT" in the name and style. **Revised**

ROW6: Below the dedication statement: **Revised**

Executed this ____ day of _____, 202__

OWNER: Midtown LLC

BY: [TYPE ENTITIES NAMES BELOW SIGNATURE LINE] MUST MATCH THE SOA AS REQUESTED

ROW7: Affirmation should read: THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS BY [TITLE OF SIGNATORY(S) AS _____ FOR/OF MIDTOWN LLC **Revised**

ROW8: With the inclusion of the Metro District, we need a copy of their by-laws or appointment of the individual who will sign on behalf of the district in order to verify their ability to accept the dedications. **District removed**

ROW9: No recording information blanks will be allowed on the Final Plat. They can be blank for the preliminary. **Noted**

ROW10: No colored ink. Remove all red and blue inks. **Revised**

ROW11: Missing Tract labels on sheets. See comments on plat. **Revised**

ROW12: Add case number to top right-hand corner of all sheets. (PRC2023-00023) **Added**

Final Plat Comments: **Noted**

ROW1: Comments as provided on the Preliminary Plat will hold true to the final plat, except:

- a. Remove the Planning Commission Approval as they will not hear this again
- b. Revise Ownership and Dedication Statement by removing "-PRELIMINARY PLAT"
- c. Add clerk and recorders block.
- d. Provide a Title Commitment
- e. Revise the Dedication Statement, Notary Affirmation, Acknowledgement, Metro Dist. Signature, etc.
- f. All citations must be provided from the previous blank lines to the recorded document

ROW2: Addressing will be provided at the end for the next review to place on the final plat.

PUD Comments:

ROW1: Case number on all sheets

ROW2: Revise vesting deed as it is incorrect in the legal.

ROW3: If the Planning Commission needs to hear this PUD, add their recommendation block.

ROW5: Certificate of Ownership is incorrect. State correct entity owning the property Midtown LLC. Type name of signatory and title.

ROW6: Correct the Notary Affirmation as with the plats.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

From: [Yvonne Thurtell](#)
To: [Layla Bajelan](#); [David Dittmer](#)
Cc: [Sandy Munoz](#); [Ian Cortez](#)
Subject: RE: Request for Comments- PRC2023-00023; Midtown Filing No. 13
Date: Tuesday, December 5, 2023 10:58:57 AM
Attachments: [Midtown at Clear Creek Flg 13 Markup.pdf](#)

Hello,

I've attached some markups to the plat that need to be corrected. Pg 1 & 3 for sure, pg 7 not a big deal, but might as well get it right.

- Pg 1 – error in distance in the 6th to last call. Should be 61.88 feet, not 57.02 **Revised**
- Pg 1 – Dedication Statement, illegible as some wording overlaps others **Revised**
- Pg 1 – Owner Signature Block is missing and the Notary Signature Block needs updated to show Midtown LLC as owner (not Midtown Facility LLC) **Revised**
- Pg 1 – Metro District. The name of the District has changed to Midtown at Clear Creek Metropolitan District per Rec # 2018000067796. Need to change Signature Block and Notary Acknowledgement. ****Also**, we need to know why the metro dist is signing the plat. Are they accepting easements only or ownership of all the Tracts as listed in the Tract Table? The Signature Block can say something like 'MCCMD as to easements granted herein' or 'MCCMD as to Tracts____' **Metro District has been removed form the plat**
- Pg 3 – Correct Line Table, L11 to reflect correct distance of 61.88 Feet **Revised**
- Pg 7 – Bottom of page where it says 'See Sheet 2' I believe should say ' See Sheet 3' as that's the only page that shows all of Tract L **Revised**

I'm not sure if Note #9 on pg 2 still needs to be on there? If so, does the area need to be shown on the map (like a flood plain)? I didn't see it defined on the map. This could affect values depending on where it is. I briefly looked at the document and it appears to cover the entire area of Flg 13 – so guessing it doesn't apply, otherwise they couldn't build there.

The environmental covenant covered all of Midtown, since remediation has been complete there is a no further action letter that has been provided by the CDPHE allowing for residential construction. The covenant also addresses the soil management plan that must be followed during construction.

Yvonne Thurtell, GIS Specialist, Adams County, Colorado
ADAMS COUNTY, COLORADO
4430 S Adams County Pkwy, Suite C2100
Brighton, CO 80601
o: 720.523.6703 | ythurtell@adcogov.org
www.adcogov.org

From: Layla Bajelan <LBajelan@adcogov.org>
Sent: Wednesday, November 22, 2023 7:23 PM
To: Layla Bajelan <LBajelan@adcogov.org>
Subject: Request for Comments- PRC2023-00023; Midtown Filing No. 13

Request for Comments

MIDTOWN AT CLEAR CREEK – FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

PURPOSE

THE PURPOSE OF THIS PLAT IS TO CREATE 79 LOTS, 12 TRACTS, AND RIGHT-OF-WAY.

SHEET 1 OF 9

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND BEING A PORTION OF SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2007000079792 THE OFFICIAL RECORDS OF THE ADAMS COUNTY, COLORADO CLERK AND RECORDER'S OFFICE, SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 4, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4 BEARS NORTH 89°48'22" WEST, A DISTANCE OF 2643.63 FEET WITH ALL BEARINGS HEREON REFERENCED TO SAID LINE;

THENCE ALONG SAID NORTH LINE, NORTH 89°48'22" WEST, A DISTANCE OF 769.03 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°11'38" WEST, A DISTANCE OF 40.00 FEET TO THE NORTHEASTERLY CORNER OF SAID SPECIAL WARRANTY DEED AND THE POINT OF BEGINNING;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARY OF SAID SPECIAL WARRANTY DEED, THE FOLLOWING NINE (9) COURSES:

1. SOUTH 38°21'59" EAST, A DISTANCE OF 194.84 FEET;
2. SOUTH 51°23'53" EAST, A DISTANCE OF 128.80 FEET;
3. SOUTH 15°37'26" WEST, A DISTANCE OF 335.11 FEET;
4. SOUTH 31°14'28" EAST, A DISTANCE OF 73.46 FEET;
5. SOUTH 58°45'32" WEST, A DISTANCE OF 225.78 FEET;
6. SOUTH 54°30'23" WEST, A DISTANCE OF 236.69 FEET;
7. SOUTH 27°17'19" WEST, A DISTANCE OF 306.52 FEET;
8. SOUTH 39°46'32" WEST, A DISTANCE OF 63.23 FEET;
9. SOUTH 89°57'07" WEST, A DISTANCE OF 91.41 FEET TO THE EASTERLY BOUNDARY OF THE PLAT OF MIDTOWN AT CLEAR CREEK – FILING NO. 7, RECORDED AT RECEPTION NO. 201600009355, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY BOUNDARY, THE FOLLOWING NINE (9) COURSES:

1. NORTH 00°16'34" EAST, A DISTANCE OF 286.85 FEET;
2. NORTH 00°24'51" WEST, A DISTANCE OF 249.02 FEET;
3. NORTH 00°16'34" EAST, A DISTANCE OF 325.54 FEET;
4. SOUTH 89°43'26" EAST, A DISTANCE OF 53.51 FEET;
5. NORTH 00°16'34" EAST, A DISTANCE OF 57.02 FEET; **61.88 Revised**
6. NORTH 89°43'26" WEST, A DISTANCE OF 93.51 FEET;
7. NORTH 00°16'34" EAST, A DISTANCE OF 52.00 FEET;
8. NORTH 89°43'26" WEST, A DISTANCE OF 69.50 FEET;
9. NORTH 00°16'34" EAST, A DISTANCE OF 220.48 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF WEST 68TH AVENUE AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7;

THENCE DEPARTING SAID EASTERLY BOUNDARY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89°48'22" EAST, A DISTANCE OF 595.45 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 13.565 ACRES, (590,905 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **MIDTOWN AT CLEAR CREEK – FILING NO. 13**, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND ~~EASEMENTS~~ **AS SHOWN** (EXCLUDING THOSE GRANTED AND OWNED BY MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT), FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

BY: PETER LAUENER **Ownership Certificate Executed this ___ day of ___, 2024? By: Midtown LLC**

ACKNOWLEDGEMENT

BY: MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY **Name Title Revised**

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING OWNERSHIP AND DEDICATION CERTIFICATE WAS ACKNOWLEDGED BEFORE ME

THIS ___ DAY OF _____ A.D. 20___ BY PETER LAUENER AS PRESIDENT OF MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC



VICINITY MAP
1" = 100'

Why is the Metro Dist signing? Are they just accepting easements or are they accepting ownership of the Tracts? please specify in signature block. 'MCCMD as to....' **Removed**

Should this be Clear Creek Station or Midtown at Clear Creek?

OWNERSHIP AND DEDICATION CERTIFICATE: –CONTINUED

EXECUTED THIS ___ DAY OF _____ A.D., 20___

BY: CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1

NAME AS TITLE

ACKNOWLEDGEMENT

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ___ DAY

OF _____ A.D. 20___

BY _____ AS _____

OF CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. **Change name?**

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NAME AS TITLE
NOTARY PUBLIC

TRACT SUMMARY TABLE

TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	692	0.016	LS/DRAINAGE/PA/UTILITY	MCCMD
B	23,926	0.549	PRIVATE ALLEY/ACCESS/UTILITY	MCCMD
C	8,550	0.196	LS/DRAINAGE/PA/UTILITY	MCCMD
D	6,257	0.144	LS/DRAINAGE/PA/UTILITY	MCCMD
E	4,247	0.097	PRIVATE ALLEY/ACCESS/UTILITY	MCCMD
F	195	0.004	LS/DRAINAGE/PA/UTILITY	MCCMD
G	44,479	1.021	OPEN SPACE/UTILITY/DRAINAGE	MCCMD
H	9,166	0.210	LS/DRAINAGE/PA/UTILITY	MCCMD
I	30,716	0.705	PRIVATE ALLEY/ACCESS/UTILITY	MCCMD
J	1,100	0.025	LS/DRAINAGE/PA/UTILITY	MCCMD
K	1,100	0.025	LS/DRAINAGE/PA/UTILITY	MCCMD
L	294,620	6.764	OPEN SPACE/UTILITY/DRAINAGE	MCCMD
TOTAL TRACT AREA	425,048	9.756		
TOTAL LOT AREA	127,233	2.922		
ROW DEDICATION	38,624	0.887		
TOTAL SITE AREA	590,905	13.565		

MCCMD - MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT
LS/DRAINAGE/PA = LANDSCAPING, DRAINAGE, PUBLIC ACCESS

SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

ANTHONY K. PEALL
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38636
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1898

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ___ DAY OF _____ A.D., 20___

CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND

RECORDER, IN THE STATE OF COLORADO, AT _____M. ON THE ___ DAY

OF _____A.D., 20___

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

RECEPTION NO. _____

3					
2					
1					
NO.	REVISION	DATE	BY	CHK	

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	N/A
SHEET	1 OF 9

FOR REVIEW

Illegible
Revised

MIDTOWN AT CLEAR CREEK – FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 9

NOTES

1. BASIS OF BEARINGS: THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE EAST QUARTER CORNER BY A NO. 6 REBAR WITH A 3" ALUMINUM CAP STAMPED "PLS 7276" IN A MONUMENT BOX AND AT THE CENTER-EAST SIXTEENTH CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 26970" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 89°48'22" WEST, A DISTANCE OF 2,643.63 FEET.

2. STORM DRAINAGE FACILITIES STATEMENT: THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.

3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.

4. AZTEC CONSULTANTS, INC. HAS RELIED UPON TITLE COMMITMENT _____ PREPARED BY _____ EFFECTIVE DATE _____ AT 10:00 A.M./P.M. FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.

5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

6. UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.

7. THE MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT (MCOMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH MCOMD, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN AND LANDSCAPE TRACT BETWEEN FRONT PROPERTY LINE AND STREET SHALL BE THE PRIMARY RESPONSIBILITY OF THE HOMEOWNER UNDER THE REQUIREMENTS OF THE MCOMD COVENANTS. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS. HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.

8. THE SURVEYED PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS – ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NOS. 08001C0584H AND 08001C0603H, BOTH MAPS REVISED MARCH 5, 2007.

9. A PORTION OF THIS PLAT IS SUBJECT TO AN ENVIRONMENTAL COVENANT AS RECORDED AUGUST 10, 2007, UNDER RECEPTION NO. 2007000077016.

10. ALL PRIVATE STORM SEWER THAT ORIGINATE WITHIN A PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE OWNED AND MAINTAINED BY THE MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE MIDTOWN AT CLEAR CREEK METROPOLITAN DISTRICT ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.

Need further comment

ADDRESS TABLE

BLOCK 1		BLOCK 2	
LOT	ADDRESS	LOT	ADDRESS
1	-----	1	-----
2	-----	2	-----
3	-----	3	-----
4	-----	4	-----
5	-----	5	-----
6	-----	6	-----
7	-----	7	-----
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		44	-----
		45	-----

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S38°21'59"E	194.84'
L2	S51°23'53"E	128.80'
L3	S31°14'28"E	73.46'
L4	S58°45'32"W	225.78'
L5	S54°30'23"W	236.69'
L6	S39°46'32"W	63.23'
L7	S89°57'07"W	91.41'
L8	N00°24'51"W	249.02'
L9	N00°16'34"E	325.54'
L10	S89°43'26"E	53.51'
L11	N00°16'34"E	57.02'
L12	N89°43'26"W	93.51'
L13	N00°16'34"E	52.00'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L14	N89°43'26"W	69.50'
L15	N00°16'34"E	220.48'
L16	N00°11'38"E	5.00'
L17	N89°48'22"W	13.00'
L18	S89°48'22"E	13.00'
L19	N00°11'38"E	5.05'
L20	S00°11'38"W	30.00'
L21	S00°11'38"W	30.45'
L22	S00°11'38"W	21.16'
L23	S00°11'38"W	28.39'
L24	S44°55'35"E	6.38'
L25	N00°11'53"E	13.00'
L26	S89°48'22"E	27.00'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L27	S00°11'53"W	13.00'
L28	S89°48'22"E	3.01'
L29	N84°05'51"E	25.15'
L30	S00°11'38"W	9.75'
L31	S89°48'22"E	13.00'
L32	N89°48'22"W	13.00'
L33	N00°11'38"E	2.36'
L34	S89°48'22"E	10.00'
L35	S00°11'38"W	8.00'
L36	S00°11'38"W	6.05'
L37	N89°48'22"W	8.50'
L38	S89°48'22"E	7.95'
L39	S00°11'38"W	9.65'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	90°00'00"	5.00'	7.85'
C2	90°00'00"	5.00'	7.85'
C3	90°00'00"	10.00'	15.71'
C4	90°00'00"	10.00'	15.71'
C5	90°00'00"	10.00'	15.71'
C6	90°00'00"	10.00'	15.71'
C7	90°00'00"	10.00'	15.71'
C8	90°00'00"	10.00'	15.71'
C9	90°00'00"	4.50'	7.07'
C10	32°20'27"	9.00'	5.08'
C11	89°59'59"	5.00'	7.85'
C12	90°00'00"	5.00'	7.85'
C13	18°44'53"	14.00'	4.58'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C14	18°44'53"	14.00'	4.58'
C15	90°00'00"	10.00'	15.71'
C16	90°00'00"	40.00'	62.83'
C17	90°00'00"	10.00'	15.71'
C18	90°00'00"	10.00'	15.71'
C19	90°00'00"	5.00'	7.85'
C20	90°00'00"	5.00'	7.85'

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

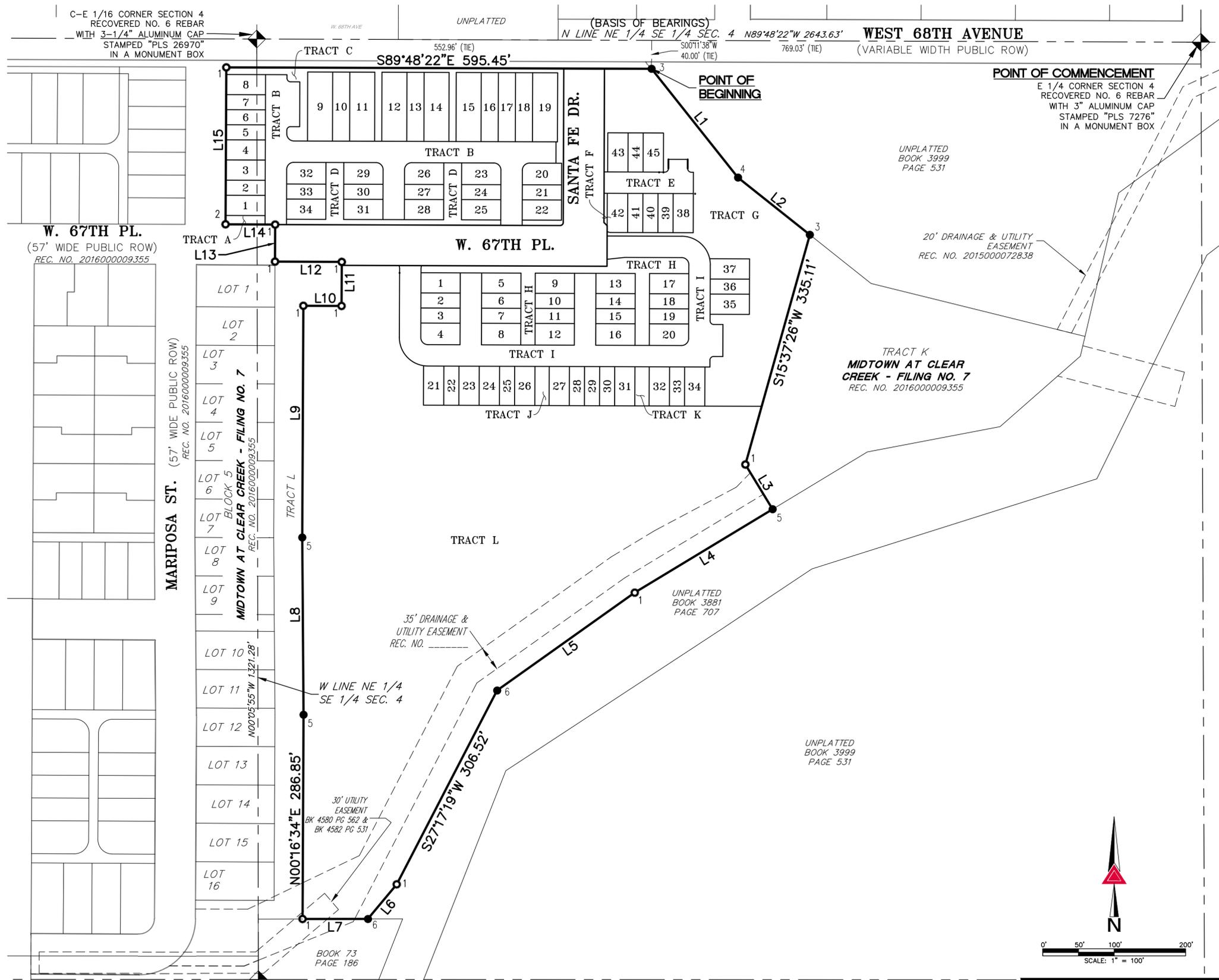
AZTEC
CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
Aztec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	N/A
SHEET 2 OF 9	

MIDTOWN AT CLEAR CREEK – FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

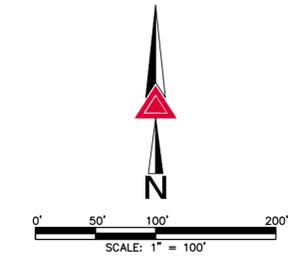
SHEET 3 OF 9



LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S38°21'59"E	194.84'
L2	S51°23'53"E	128.80'
L3	S31°14'28"E	73.46'
L4	S58°45'32"W	225.78'
L5	S54°30'23"W	236.69'
L6	S39°46'32"W	63.23'
L7	S89°57'07"W	91.41'
L8	N00°24'51"W	249.02'
L9	N00°16'34"E	325.54'
L10	S89°43'26"E	53.51'
L11	N00°16'34"E	57.02'
L12	N89°43'26"W	93.51'
L13	N00°16'34"E	52.00'
L14	N89°43'26"W	69.50'
L15	N00°16'34"E	220.48'

61.88 Revised

LEGEND	
	FOUND ALIQUOT CORNER STAMPED AS SHOWN
1	SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38636"
2	SET 1" BRASS DISK STAMPED "AZTEC PLS 38636"
3	FOUND 1" BRASS DISK STAMPED "AZTEC PLS 38064"
4	FOUND 1" BRASS DISK STAMPING ILLEGIBLE
5	FOUND NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
6	FOUND 1" YELLOW PLASTIC CAP STAMPED "BAYER LS 6973"
(ROW)	RIGHT-OF-WAY
##	BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

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CONSULTANTS, INC.

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AzTec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	1" = 100'
SHEET 3 OF 9	

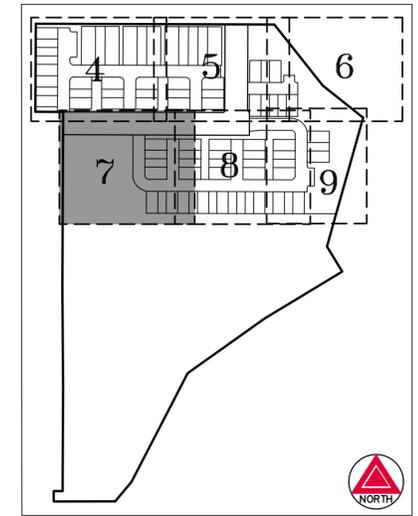
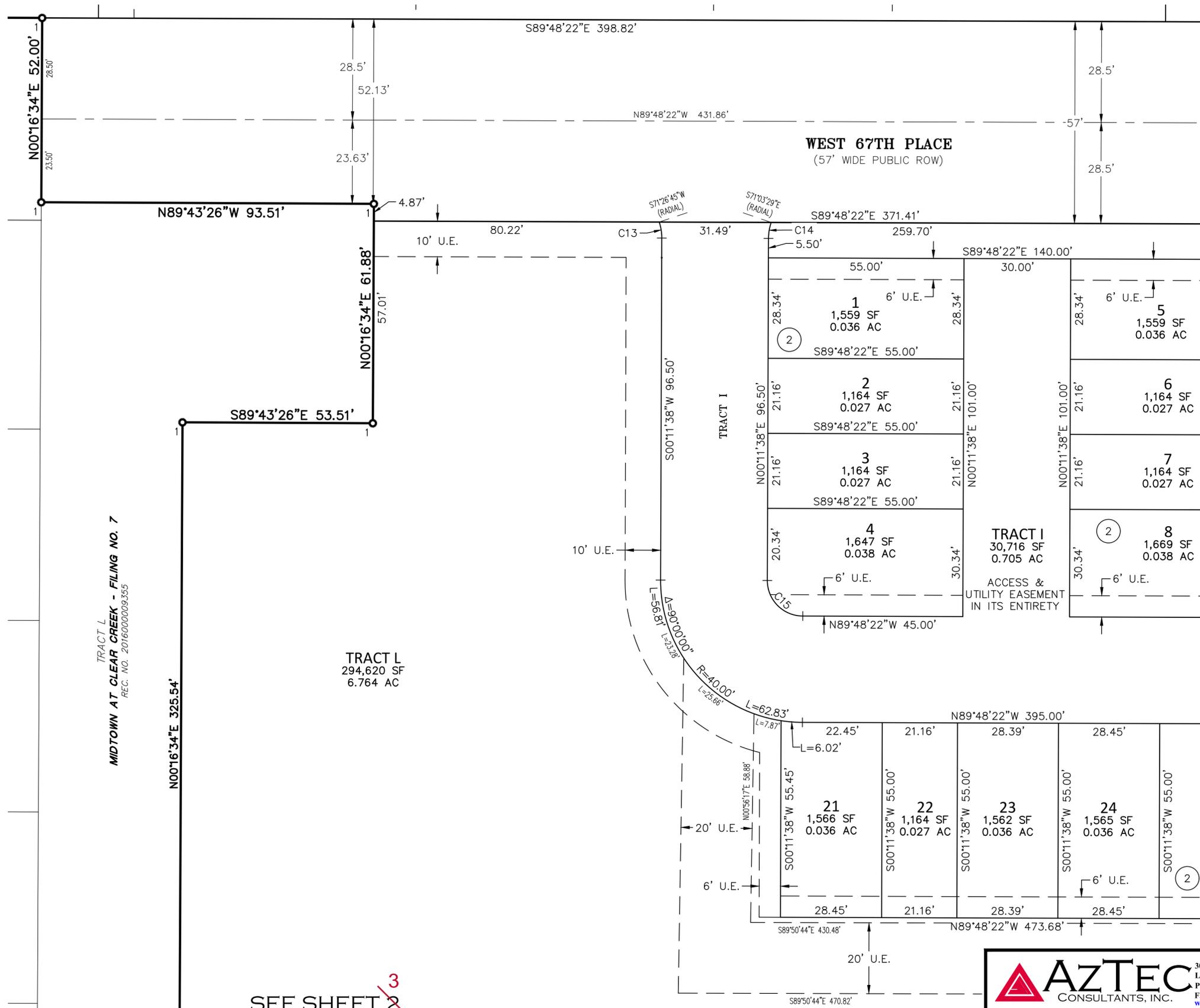
MIDTOWN AT CLEAR CREEK - FILING NO. 13

SITUATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 7 OF 9

SEE SHEET 4

SEE SHEET 4

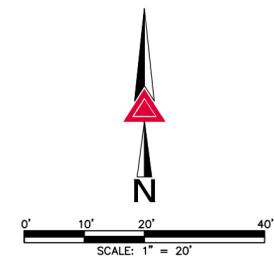


KEY MAP
SCALE: 1" = 300'

SEE SHEET 2
FOR LINE &
CURVE TABLES

SEE SHEET 8

LEGEND	
1	SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38636"
U.E.	UTILITY EASEMENT
(ROW)	RIGHT-OF-WAY
(##)	BLOCK NUMBER



SEE SHEET 8

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

SEE SHEET 3

AZTEC CONSULTANTS, INC.
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Aztec Proj. No.: 54823-13
Drawn By: BAM

DATE OF PREPARATION:	10-03-2023
SCALE:	1" = 20'
SHEET 7 OF 9	